



Village of Silverton – Planning Commission Agenda
Wednesday, July 17 – 5:00 PM
6943 Montgomery Road
Silverton, Ohio 45236

- 1. OPEN THE MEETING**
 - a. Moment of Silence
 - b. Pledge of Allegiance

- 2. ROLL CALL**

- 3. REVIEW AND APPROVAL OF MINUTES**
 - a. May 22, 2024

- 4. PUBLIC HEARING**

Jeffrey R. Anderson Real Estate, Inc.
Wawa Store 7433-7451 Montgomery Road

 - a. Open the Public Hearing
 - b. Applicant presentation
 - c. Staff report
 - d. Public Comment
 - e. Close the Public Hearing

- 5. Application for Review**

Jeffrey R. Anderson Real Estate, Inc.
Wawa Store Stage II PMUD Preliminary Development Plan

 - a. Planning Commission discussion
 - b. Planning Commission recommendation to Council to approve, disapprove or modify the Stage II Preliminary Development Plan

- 6. ADJOURNMENT**

June 7th, 2024



J E F F R E Y R
ANDERSON
R E A L E S T A T E

Village of Silverton
6943 Montgomery Road
Silverton, Ohio 45236

ATTN: Jack Cameron
Village Manager

RE: Cover Letter Application for a Planned Unit Development Overlay District Amendment to the official Village of Silverton Zoning Ordinance – Stage II Preliminary Development Plan

Applicant: Jeffrey R. Anderson Real Estate, Inc.
Applicant Address: 3825 Edwards Rd., Ste 200, Cincinnati, OH
Site Location: Four parcels located at 7433, 7439, 7445, and 7449 Montgomery Rd

Mr. Cameron,

We are pleased to present the Stage II Preliminary Development Plan application adhering to the guidelines outlined in Exhibit B of the Village of Silverton's Code.

Enclosed you will find:

1. Civil drawings outlining the building layout, parking and circulation, landscape plan, access points, utility connections, photometrics and other details pertaining to the proposed site layout
2. The 10 and 25-year stormwater reports prepared by our Civil Engineer
3. Architectural drawings detailing the proposed floor plan and building façade
4. Wawa's signage drawings prepared by Blair Images
5. Copy of MSD's confirmation of sewer capacity

The required traffic impact study (TIS) is currently in for final review with the Village's traffic consultant, Andrea Harth. We expect to have her final determination within the next couple of weeks.

We would like to respond to some of the items we, the Applicant, missed on the Stage I requirements that were called out by Wendy Moeller of Compass Point Planning.

153.403 (D)(4)(o) - Project Team

Civil Engineer - Doug Woeste and Lucas Kimball of The Kleinger's Group
Traffic Engineer - Mark Nolt of The Kleinger's Group
Landscape Designer - The Kleinger's Group
Architect - HFA Architects

153.403 (D)(5)(j) – “Provide a statement of the availability of other community facilities, such as schools, fire and police protection services, and cultural facilities, if any, and how these facilities are affected by this proposal”

Our proposed development will not have any adverse impact on the existing community facilities. The proposed use will be a 24/7 business that can serve the Village residents at any time of the day.

153.403 (D)(5)(f) – “Delineate the proposed parking field areas for the site”

The majority of the parking spaces on site are located behind the building following the Development Standards outlined in Section 153.402 (F) of the Village code.

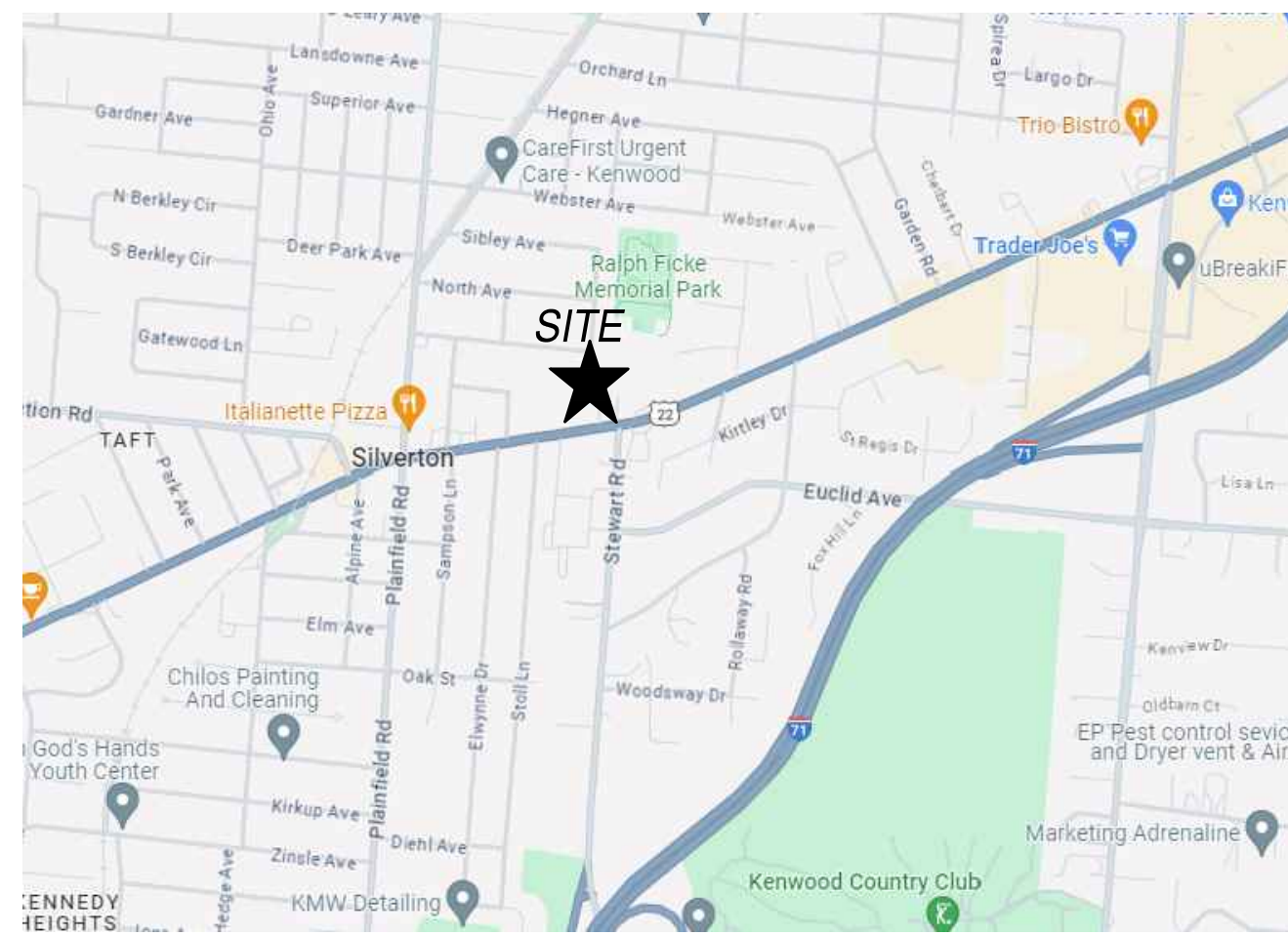
Upon confirmation of receipt of the plans and preliminary acceptance that all the necessary contents are included we will begin preparing for the Stage II public hearing at a date determined by the Village Planning Commission.

If you have any questions or need anything further, please do not hesitate to ask.

Sincerely,

A handwritten signature in black ink, appearing to read 'J.R. Anderson', is written over a horizontal line. The signature is stylized and includes a large loop at the end.

J.R. Anderson
Vice President of Development
Jeffrey R. Anderson Real Estate, Inc.



VICINITY MAP

WAWA SILVERTON PUD

STAGE II SUBMITTAL VILLAGE OF SILVERTON HAMILTON COUNTY, OH

SITE INFORMATION

EXISTING USE: VACANT OFFICE BUILDINGS
 PROPOSED USE: WAWA PUD
 ZONING: C-1 WITH PUD OVERLAY

COMMERCIAL USE: 83,469 SF (1.916 ACRES)
 LOT AREA = 83,469 SF (1.916 ACRES)

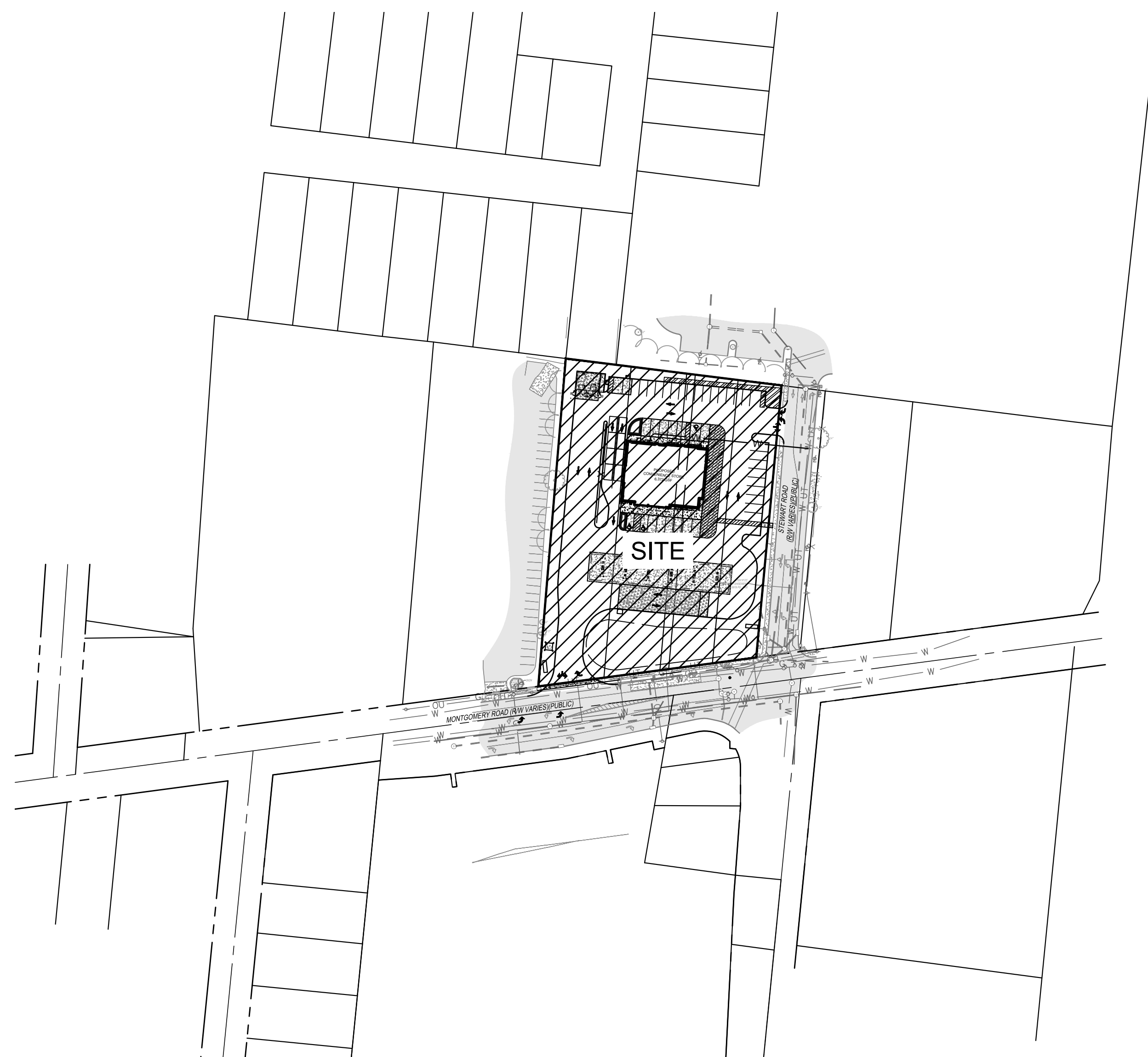
BUILDING
 FOOTPRINT AREA = 6,372 SF
 SIDEWALK AREA = 1,840 SF
 PAVEMENT AREA = 53,076 SF
 TOTAL IMPERVIOUS = 61,288 SF

IMPERVIOUS SURFACE RATIO = 73.43%

REQUIRED PARKING COMMERCIAL

1 PER 200 SF - 6372/200 = 32 SPACES
 1 PER PUMP - 6 x 1 = 6 SPACES
 1 PER EMPLOYEE - 1 x 5 = 5 SPACES
 TOTAL = 43 SPACES

PROVIDED PARKING
 STANDARD PARKING = 28 SPACES
 HANDICAP PARKING = 3 SPACES
 FUTURE EV CHARGING = 12 SPACES
 TOTAL PROVIDED = 43 SPACES



Sheet Number	Sheet Title
C100	TITLE SHEET
C200	EXISTING CONDITIONS
C300	LOCATION PLAN
C400	UTILITY PLAN
C500	GRADING PLAN
L100	PLANTING PLAN
L101	PLANTING DETAILS

CONTACTS

CABLE
 TIME WARNER CABLE
 11252 CORNELL PARK DRIVE
 CINCINNATI, OHIO 45242
 JIM O'REILLY
 (513) 386-5483

STORM & SEWER
 METROPOLITAN SEWER DISTRICT
 1600 GEST STREET
 CINCINNATI, OHIO 45204
 ROB FRANKLIN
 (513) 557-7188

OWNER
 JRA MVG SILVERTON LAND LLC
 3825 EDWARDS ROAD
 SUITE 200
 CINCINNATI, OH 45209
 (513) 241-5800

TELEPHONE
 CINCINNATI BELL
 221 E. 4TH STREET BUILDING 121-900
 CINCINNATI, OHIO 45202
 ALISON THOMAS

ELECTRIC
 DUKE ENERGY
 139 EAST 4TH STREET ROOM 467A
 CINCINNATI, OHIO 45202
 TAMWA PUGH
 (513) 287-2240

ENGINEER/SURVEYOR
 THE KLEINGERS GROUP
 6305 CENTRE PARK DRIVE
 WEST CHESTER, OHIO 45069
 DOUG WOESTE
 (513) 274-7576

WATER
 CINCINNATI WATER WORKS
 4747 SPRING GROVE
 CINCINNATI, OHIO 45232
 (513) 591-7836

GAS
 DUKE ENERGY
 139 EAST 4TH STREET ROOM 460A
 CINCINNATI, OHIO 45202
 BRAD SEITER
 (513) 287-4415

ZONING
 VILLAGE OF SILVERTON
 6860 PLAINFIELD ROAD
 SILVERTON, OHIO 45236



NOTE:
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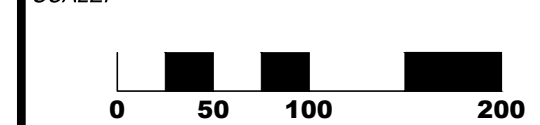
NO. DATE DESCRIPTION

SILVERTON PUD
 VILLAGE OF SILVERTON
 HAMILTON COUNTY, OHIO
STAGE II

PROJECT NO: 230863.008

DATE: 05-31-2024

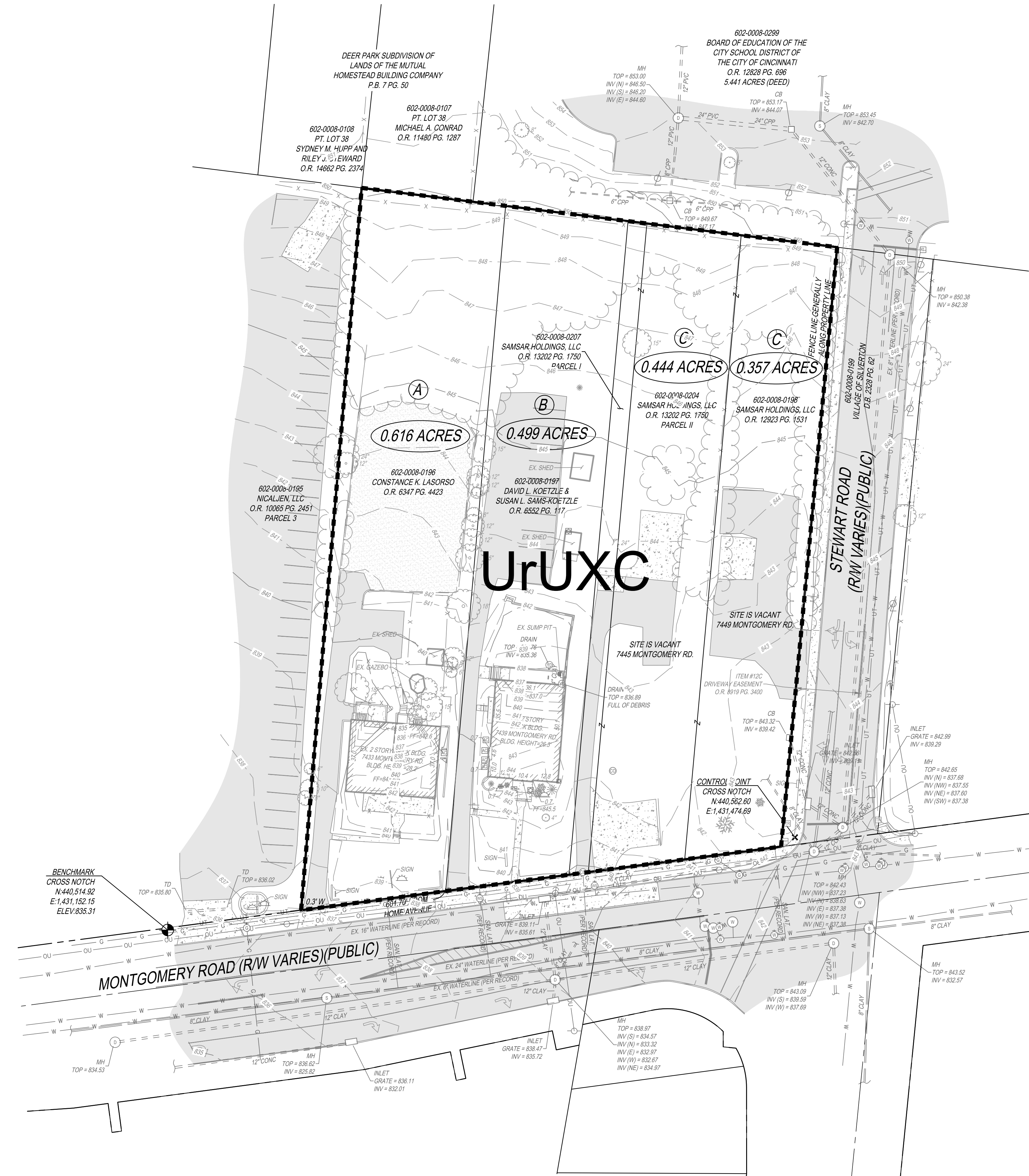
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SHEET NAME:

TITLE SHEET

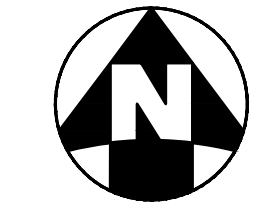
SHEET NO:
C100



- LEGEND**
- 5/8" IRON PIN FOUND
 - ⊗ AXLE FOUND
 - 5/8" IRON PIN SET (KLEINGERS)
 - ▲ MAG NAIL SET
 - CATCH BASIN
 - ▣ DOWN SPOUT
 - INLET
 - ⊕ YARD DRAIN
 - ⊙ STORM MANHOLE
 - ⊙ SANITARY MANHOLE
 - ⊙ CLEAN OUT
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ ELECTRIC BOX
 - ⊙ GROUND LIGHT
 - ⊙ GUY WIRE
 - ⊙ LIGHT POLE
 - ⊙ LIGHT POST
 - ⊙ UTILITY POLE
 - ⊙ GAS VALVE
 - ⊙ FIRE HYDRANT
 - ⊙ WATER MANHOLE
 - ⊙ WATER SERVICE
 - ⊙ WATER VALVE
 - ⊙ TELEPHONE BOX
 - ⊙ SIGN (SINGLE POST)
 - ⊙ SIGN (DOUBLE POST)
 - ⊙ BUSH
 - ⊙ STUMP
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE
 - X — FENCE LINE
 - TREE LINE
 - OVERHEAD UTILITY
 - UNDERGROUND TELEPHONE
 - GAS LINE
 - WATER LINE
 - SANITARY SEWER
 - STORM SEWER
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - LANDSCAPING

SOIL NOTES

- UrUXC - URBAN LAND-UDORTMENTS, 0 TO 12 PERCENT SLOPES, 1.916 ACRES - 100%



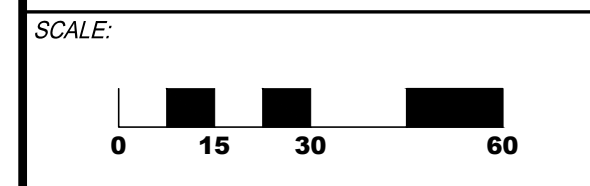
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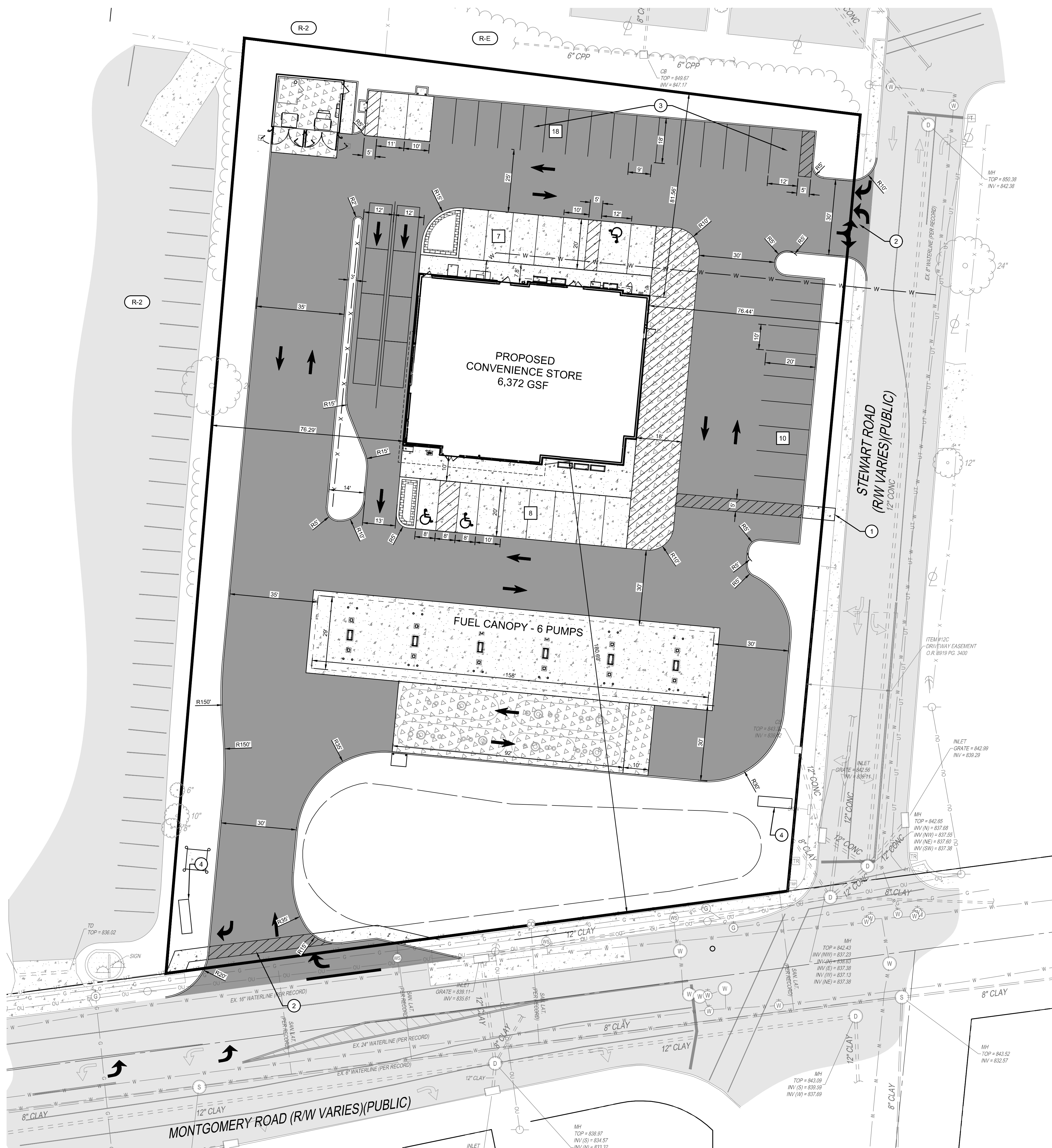
SILVERTON PUD
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SHEET NAME:
EXISTING CONDITIONS

SHEET NO.
C200



PROPOSED LEGEND

- HEAVY DUTY CONCRETE
- STANDARD DUTY CONCRETE
- WAWA ASPHALT PAVEMENT
- CONCRETE SIDEWALK

LOCATION NOTES

1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
2. ALL STANDARD PARKING SPACES ARE 10' X 20' EXCEPT FOR NORTHERN BAY OF PARKING
3. PARKING LOT STRIPING SHALL BE 4" WIDE WHITE HIGHWAY-TYPE STRIPING APPLIED IN ACCORDANCE WITH THE PLAN.

CODED NOTES

- NUMBER OF PARKING SPACES
- ADJACENT ZONING CLASSIFICATION
- PROPOSED PEDESTRIAN CONNECTIVITY TO PUBLIC SIDEWALK
- PROPOSED FULL ACCESS DRIVE ENTRANCE
- 12 FUTURE EV CHARGING SPACES
- PROPOSED MONUMENT SIGN

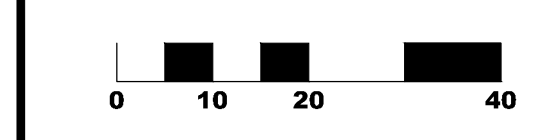
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 www.kleingers.com
 6219 Centre Park Dr. West Chester, OH 45069
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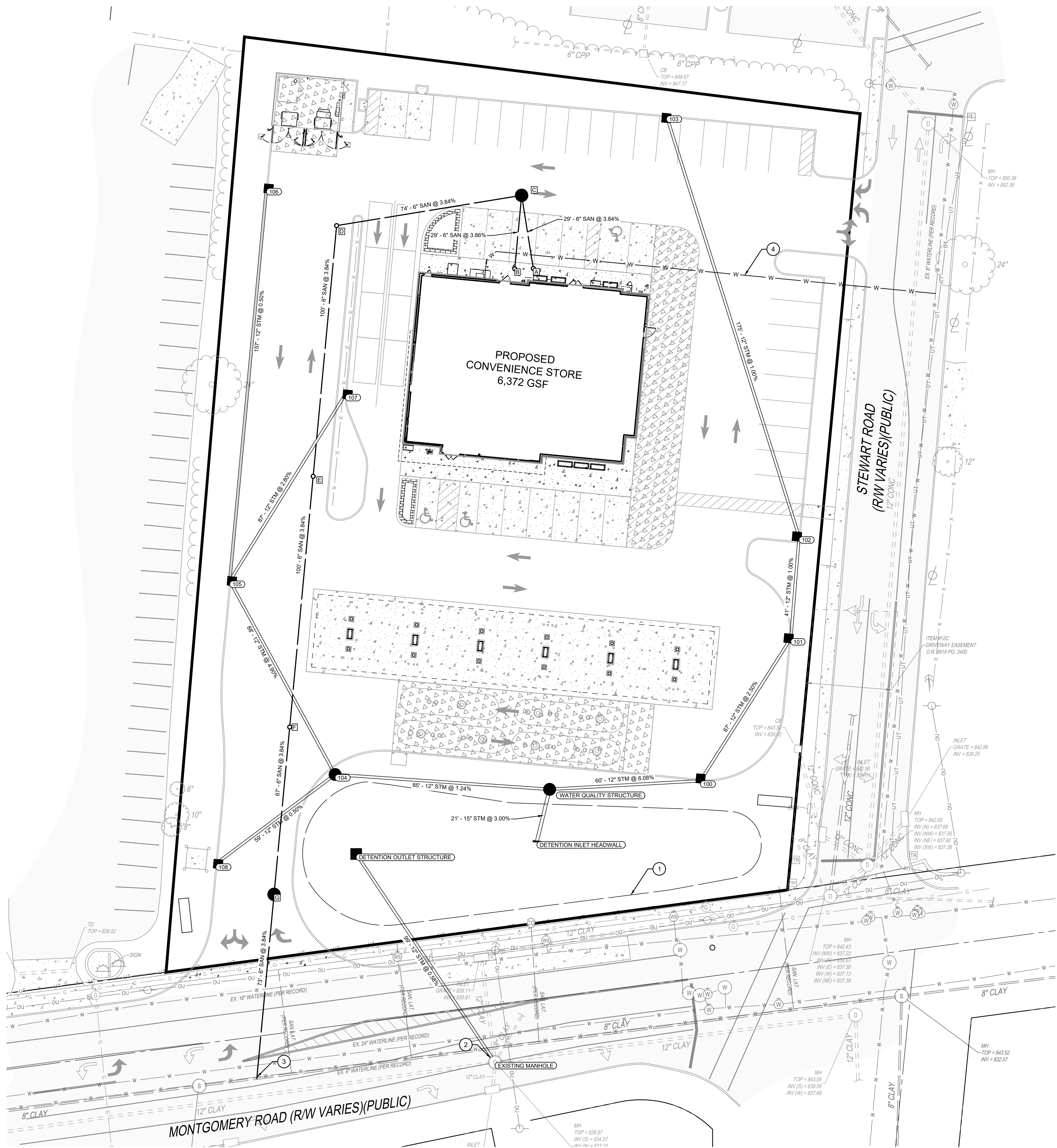


SHEET NAME:
LOCATION PLAN

SHEET NO.
C300



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PROPOSED LEGEND

- STM — STORM SEWER PIPE
- 100 CATCH BASIN
- 100 CURB INLET
- 100 YARD DRAIN
- 100 HEADWALL
- 100 MANHOLE
- 05 DOWNSPOUT
- SAN — SANITARY SEWER PIPE
- A SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEANOUT
- W — WATERLINE PIPE

CODED NOTES

- ① ABOVE-GROUND DRY DETENTION BASIN
- ② DETENTION BASIN TO OUTLET TO SEWER IN MONTGOMERY ROAD
- ③ 6" SANITARY SERVICE LINE TO TAP INTO EXISTING SANITARY MAIN IN MONTGOMERY ROAD
- ④ 2" WATER SERVICE LINE

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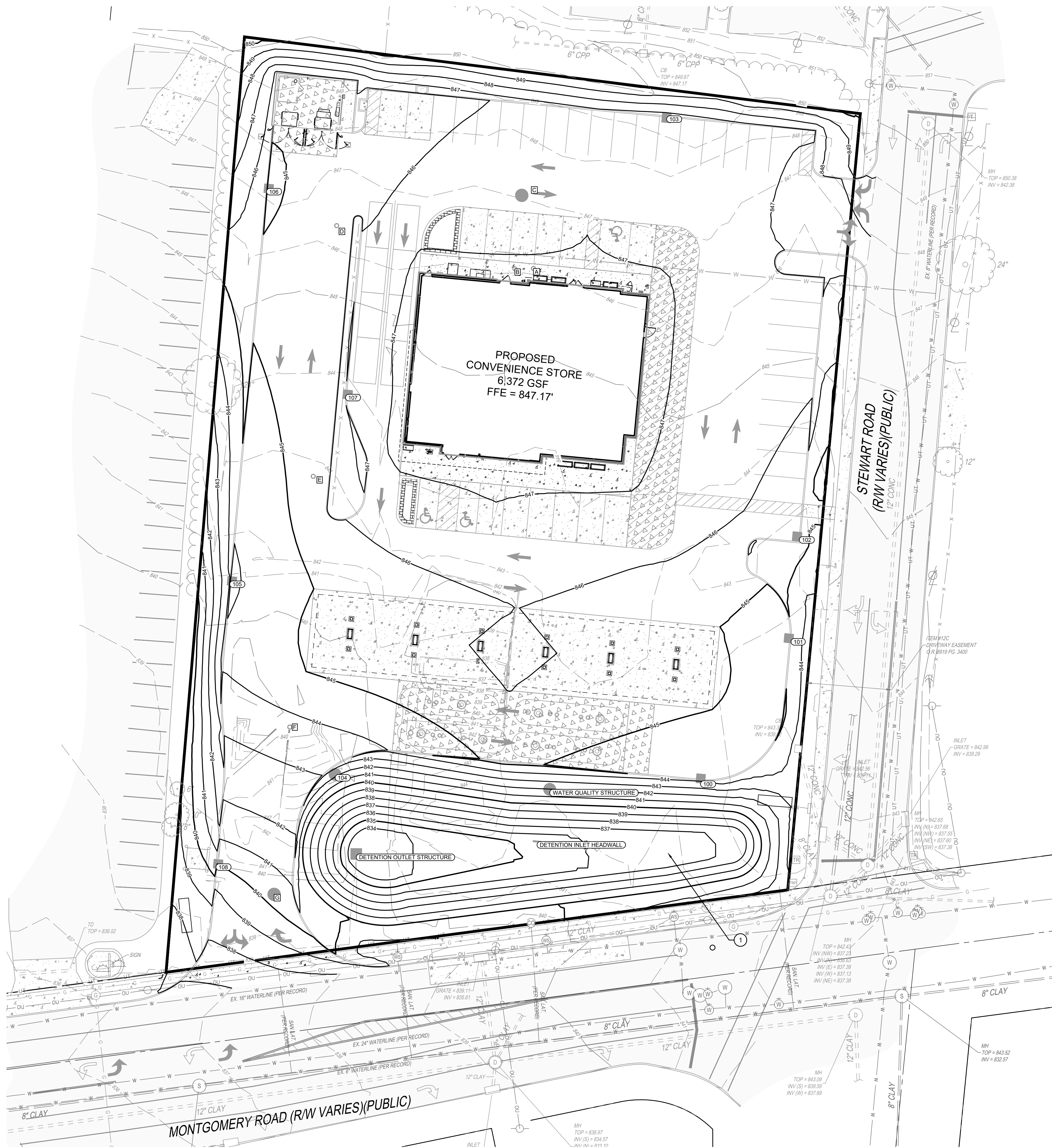
UTILITY PLAN

SHEET NO.	C400
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GRADING LEGEND

- 845 — EXISTING MAJOR CONTOUR
- 846 — EXISTING MINOR CONTOUR
- 845 — PROPOSED MAJOR CONTOUR
- 846 — PROPOSED MINOR CONTOUR
- — PROPOSED SWALE

CODED NOTES

- ① ABOVE GROUND DRY DETENTION BASIN



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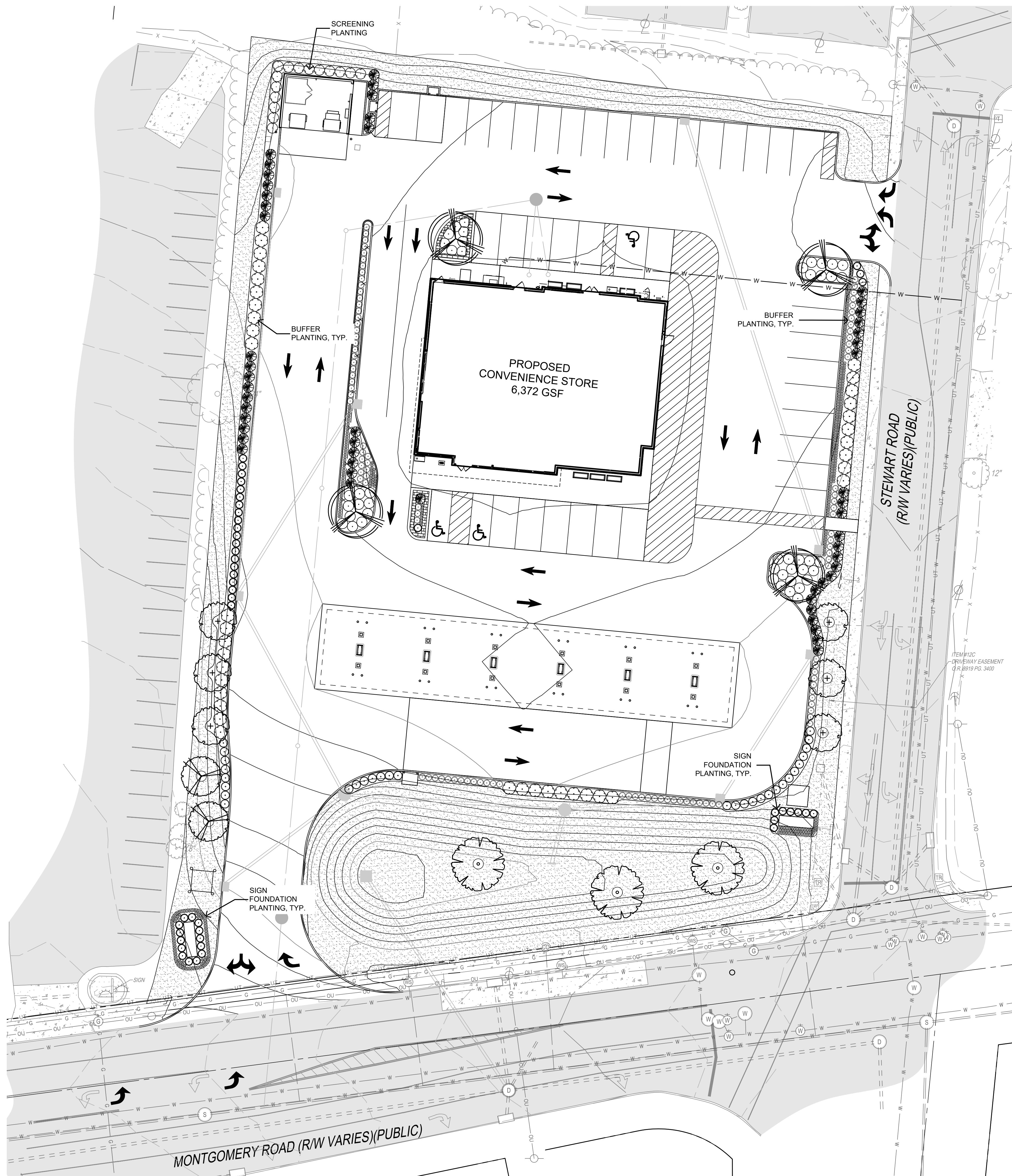


SHEET NAME:

GRADING PLAN

SHEET NO.

C500



PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES:					
ACE RUB	ACER RUBRUM	RED MAPLE	2.5" CAL. MIN.	B&B	SPACE PER PLAN
CER CAN	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2.5" CAL. MIN.	B&B	SPACE PER PLAN
TIL COR	TILIA CORDATA	LITTLELEAF LINDEN	2.5" CAL. MIN.	B&B	SPACE PER PLAN
ZEL SER	ZELKOVA SERATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5" CAL. MIN.	B&B	SPACE PER PLAN
EVERGREEN TREES:					
THU OCC	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	6' HT.	B&B	PLANT 48" O.C.
SHRUBS:					
JUN HOR	JUNIPERUS HORIZONTALIS 'WILTONI'	BLUE RUG JUNIPER	18" SP. MIN.	CONT.	PLANT 48" O.C.
SPI JAP	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	18" HT. MIN.	CONT.	PLANT 36" O.C.
TAX MED	TAXUS x MEDIA 'DENSIFORMIS'	DENSE YEWE	30" HT. MIN.	B&B	PLANT 60" O.C.
WEI FLO	WEIGELA FLORIDA 'ALEXANDRA'	WINE & ROSES WEIGELA	12" HT. MIN.	CONT.	SPACE 60" O.C.
PERENNIALS & ORNAMENTAL GRASSES:					
CAL ACU	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	24" HT. MIN.	CONT.	PLANT 30" O.C.
HEM STE	HEMEROCALLIS 'STELLA DE ORO'	STELLA DE ORO DAYLILY	1 GAL	CONT.	PLANT 12" O.C.
TURF GRASS SEED: SEE SPECIFICATIONS					

LANDSCAPE NOTES

- INCLUDE BACKFLOW PREVENTION FOR IRRIGATION LINE.
- ALL TOPSOIL SHALL BE A MINIMUM 4" IN ALL SOD AREAS AND 10" - 12" IN TREE, SHRUB AND GROUND COVER BEDS, INCLUDING PARKING LOT ISLAND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE, PRIOR TO INSTALLATION.
- PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION.)
- LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
- ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
- MULCH BEDS ARE TO BE DELINEATED WITH HAND OR MACHINE DUG SHOVEL EDGING.
- LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN "X" PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
- WEED BARRIER SHALL BE IN ALL LANDSCAPE MULCH BEDS AND NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN MULCH IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
- ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1.
- ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
- ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES OR IS NO MORE THAN TWO (2) INCHES ABOVE FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLING MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
- AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
- ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO THE TANK MAT SHALL BE MULCHED WITH 1"-3" "RIVER STONE" MULCH TO AT LEAST A DISTANCE OF 5' FROM THE TANK MAT AND VENT STACK. FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT WAWA'S PROJECT ENGINEER.
- TURF SPECIFICATION AND SEEDBED PREPARATION
 - UNLESS REQUIRED FOR PARTICULAR BMP AREAS, ALL TURF ON WAWA LEASED PREMISES IS TO BE SOD. WHEN REQUIRED FOR BMPs, SEED MIX IS TO MEET LOCAL REQUIREMENTS. SOD SHALL BE TURF TYPE TALL FESCUE AND INSTALLED ON A MINIMUM OF 4" OF TOPSOIL.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT THE RATE OF 260 POUNDS PER ACRE OR 6 POUNDS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 4-1-2 PER ACRE OR EQUIVALENT OF SLOW-RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING.
 - EQUIV LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC. SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD PARALLEL TO THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
 - INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED BELOW.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.

GENERAL NOTES

- EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
- SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
- ALL CONCRETE FORMS SHALL BE FIELD STAKED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONCRETE INSTALLATION.
- ALL HORIZONTAL AND VERTICAL LAYOUT SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE TO ENSURE GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
- PROVIDE ISOLATION JOINT WHERE CONCRETE PAVING ABUTS BUILDINGS, COLUMNS, AND STRUCTURES. VERIFY COLOR OF SEALANT WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND PLANS FOR LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES.
- CONTRACTOR TO REPORT TO ENGINEER ANY ADDITIONAL UTILITY LINES FOUND DURING CONSTRUCTION.

LEGEND

- LOW — LIMIT OF WORK
- PA PLANTING AREA. REFER TO LANDSCAPE PLANS
- S1 TURFGRASS SEED, TYP.

PLANT MATERIAL

- DECIDUOUS TREE, TYP. 5
L10T
- SHRUBS, TYP. 3
L10T
- PERENNIALS & ORNAMENTAL GRASSES, TYP. 2
L10T
- EXISTING TREES TO REMAIN, PROTECT IN PLACE



NOTE:
UNDERGROUND UTILITIES ARE PLOTTED FROM A COMPILATION OF AVAILABLE RECORD INFORMATION AND SURFACE INDICATIONS OF UNDERGROUND STRUCTURES AND MAY NOT BE INCLUSIVE. PRECISE LOCATIONS AND THE EXISTENCE OR NON EXISTENCE OF UNDERGROUND UTILITIES CANNOT BE VERIFIED. PLEASE NOTIFY THE OHIO UTILITY PROTECTION SERVICE AT 811 OR 1-800-362-2764 BEFORE ANY PERIOD OF EXCAVATION OR CONSTRUCTION ACTIVITY.

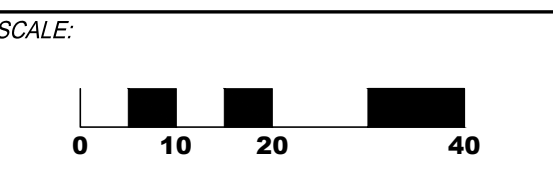
THE KLEINGERS GROUP
CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE
www.kleingers.com
6219 Centre Park Dr. West Chester, OH 45069
513.779.7851

SEAL:

NO. DATE DESCRIPTION

SILVERTON PUD
VILLAGE OF SILVERTON
HAMILTON COUNTY, OHIO
STAGE II

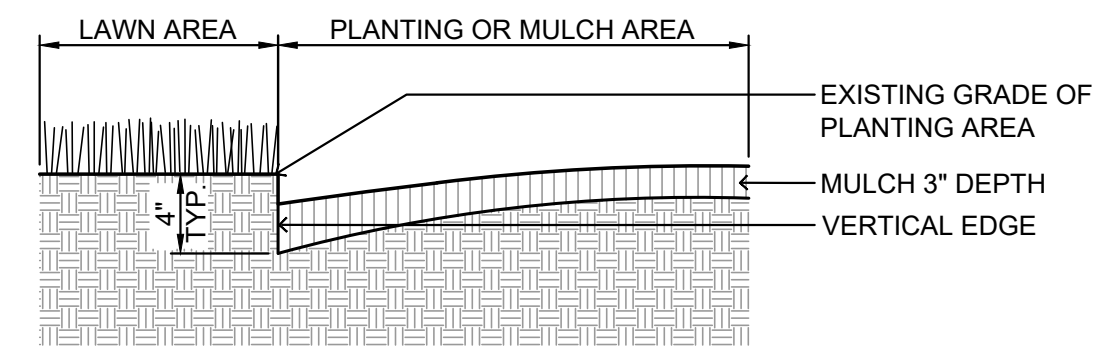
PROJECT NO: 230863.008
DATE: 05-31-2024



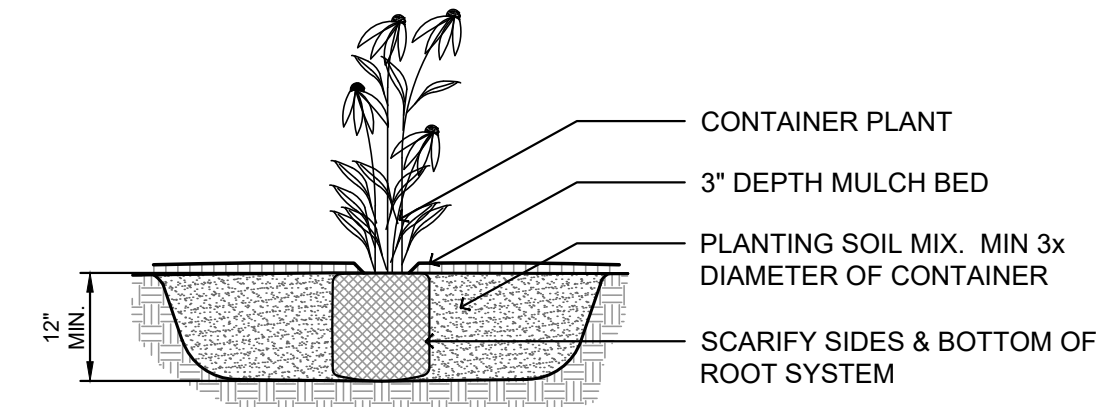
SHEET NAME:

PLANTING PLAN

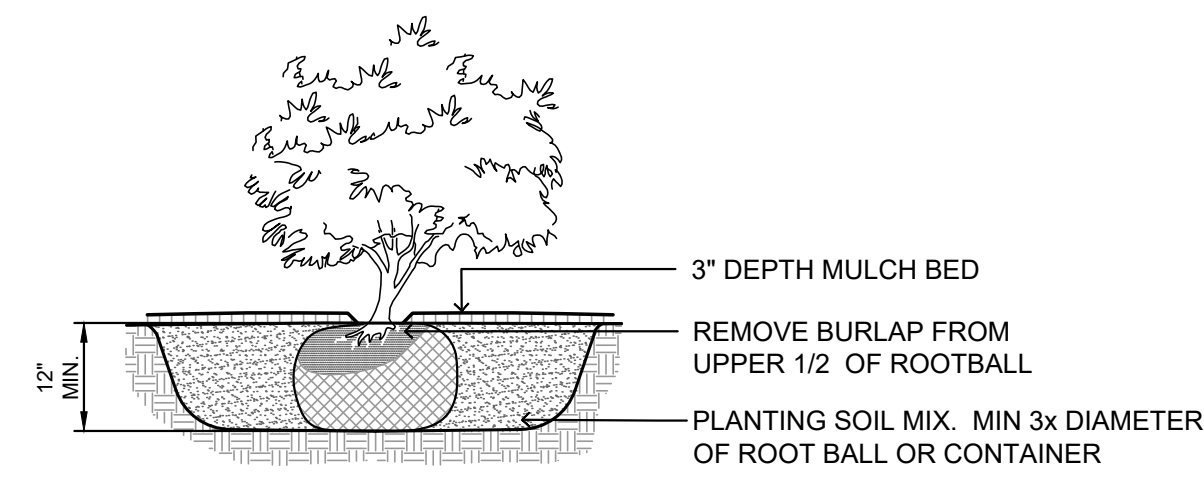
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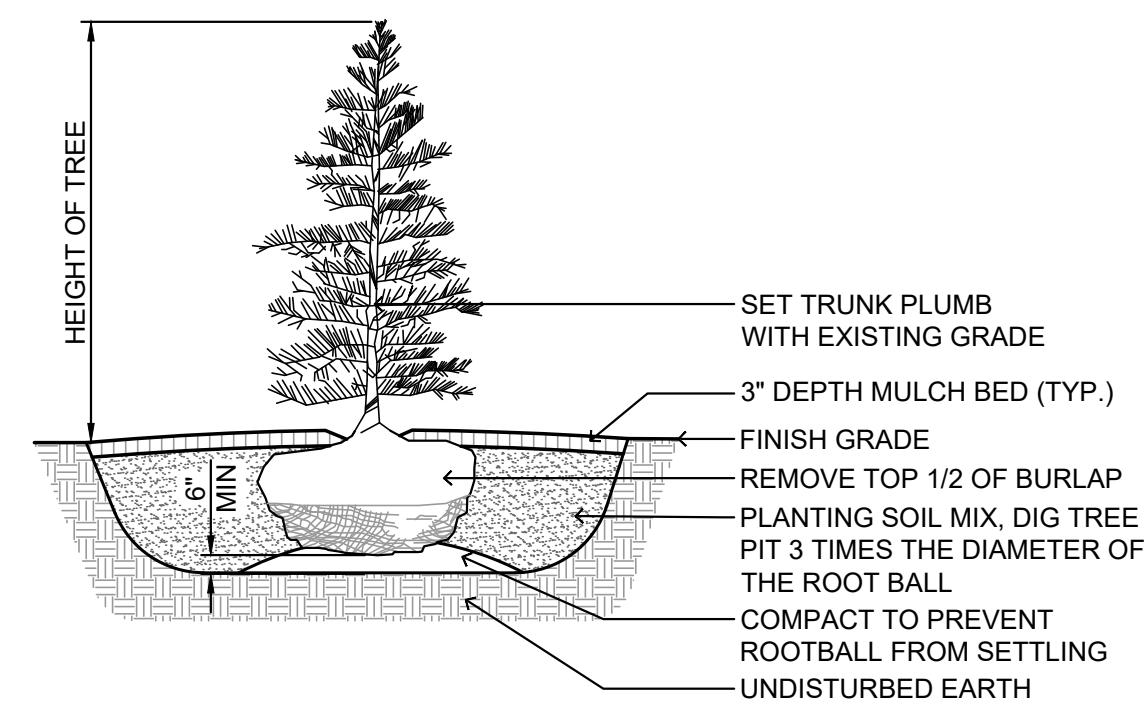
1 PLANTING BED / TREE PIT EDGING DETAIL
N.T.S.



2 PERENNIAL PLANTING
N.T.S.

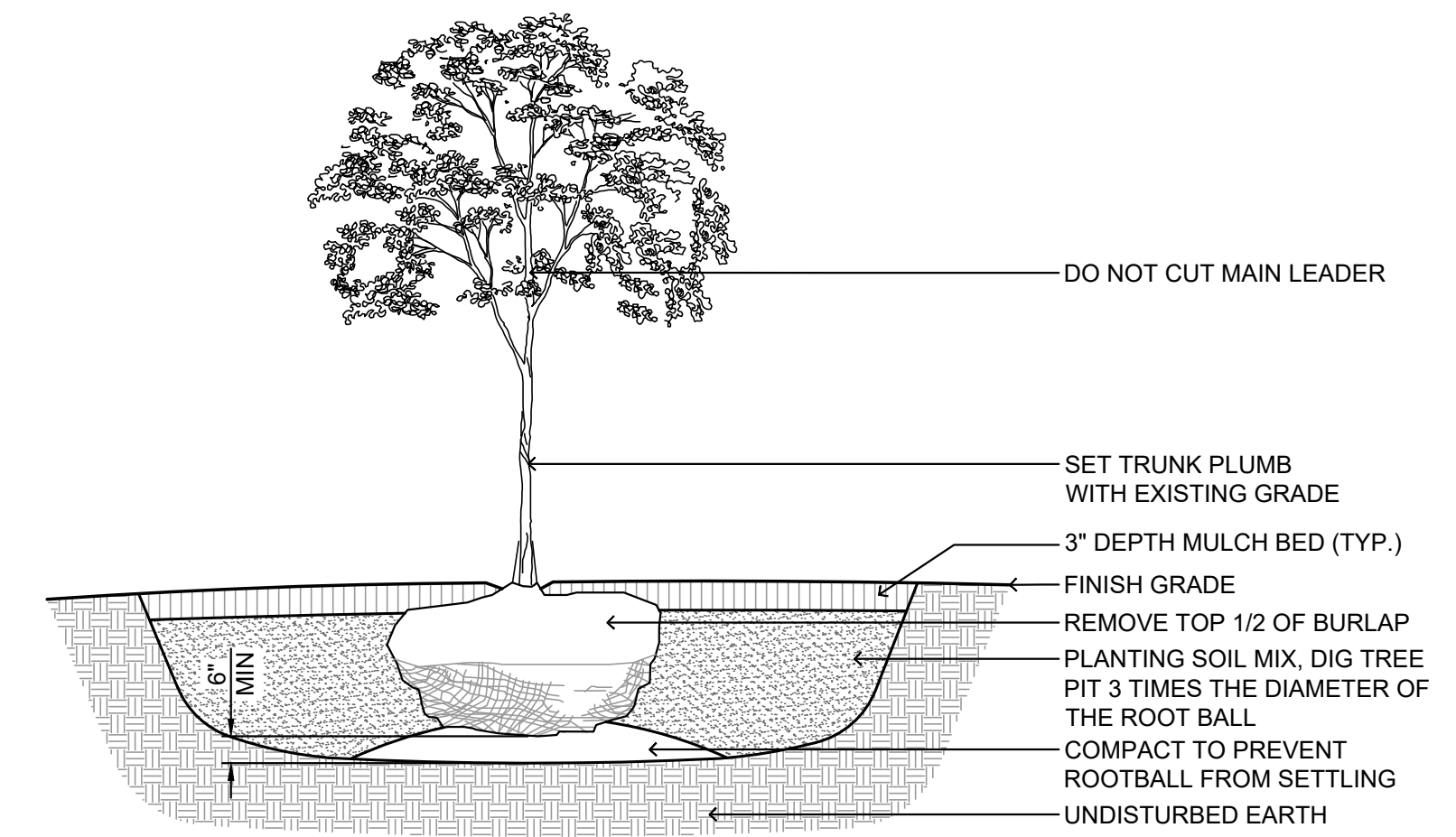


3 SHRUB PLANTING
N.T.S.



- NOTES:
- TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 - REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 - THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
 - DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE.

4 EVERGREEN PLANTING
N.T.S.

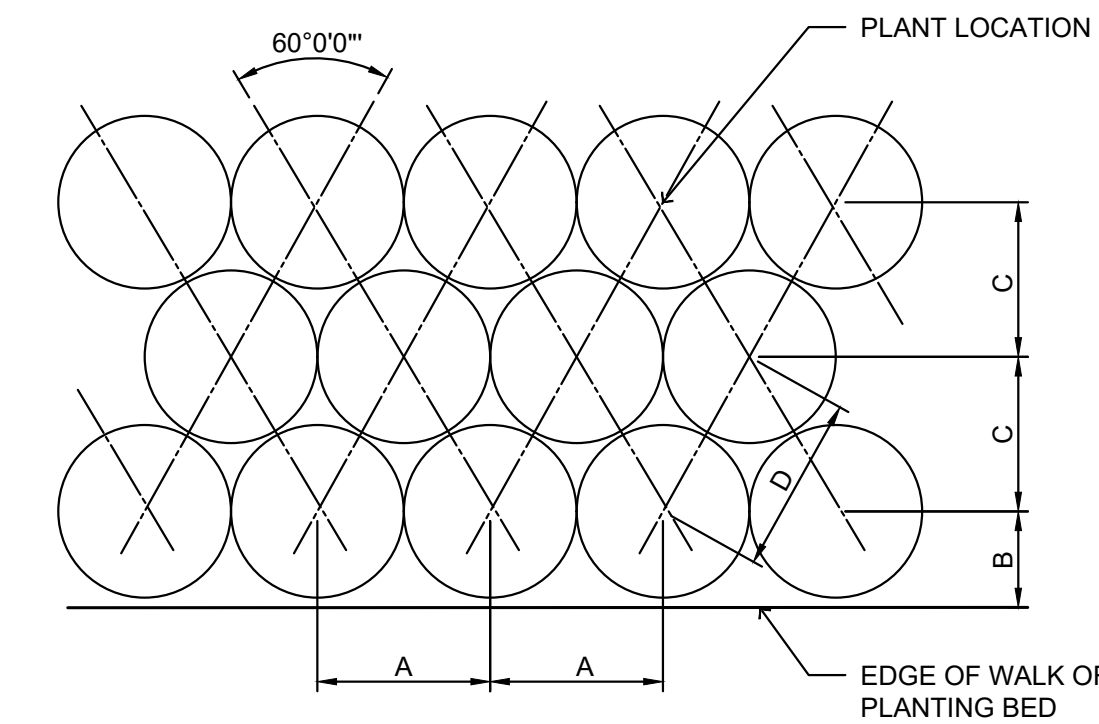


- NOTES:
- TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISHED GRADE.
 - REMOVE ALL LABELS, TAGS, OR OTHER FOREIGN MATERIALS FROM LIMBS.
 - THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS DURING TRANSPLANTING. RETAIN NORMAL SHAPE OF TREE. OWNER'S REPRESENTATIVE WILL DETERMINE AMOUNT OF PRUNING NECESSARY. PLANT TREES AT SAME GRADE AS GROWN IN THE NURSERY.
 - DO NOT STAKE AND GUY TREES UNLESS NEEDED FOR STABILITY BASED ON SITE CONDITIONS OR A DIRECTED BY OWNER'S REPRESENTATIVE .
 - PROVIDE SLOW RELEASE WATERING DEVICE. ONE PER TREE. REFER TO SPECIFICATIONS.

5 DECIDUOUS TREE PLANTING
N.T.S.

SPACING	A	B	C	D
12"	12"	6"	10"	12"
18"	18"	8"	15	18"
24"	24"	10"	20"	24"
30"	30"	15"	25"	30"
36"	36"	18"	31"	36"
48"	48"	21"	41"	48"

A = SPACING
B = SP/2
C = SP/1.2
D = SPACING



6 PLANT SPACING
N.T.S.



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SEAL:

NO. DATE DESCRIPTION

SILVERTON PUD
VILLAGE OF SILVERTON
HAMILTON COUNTY, OHIO
STAGE II

PROJECT NO: 230863.008

DATE: 05-31-2024

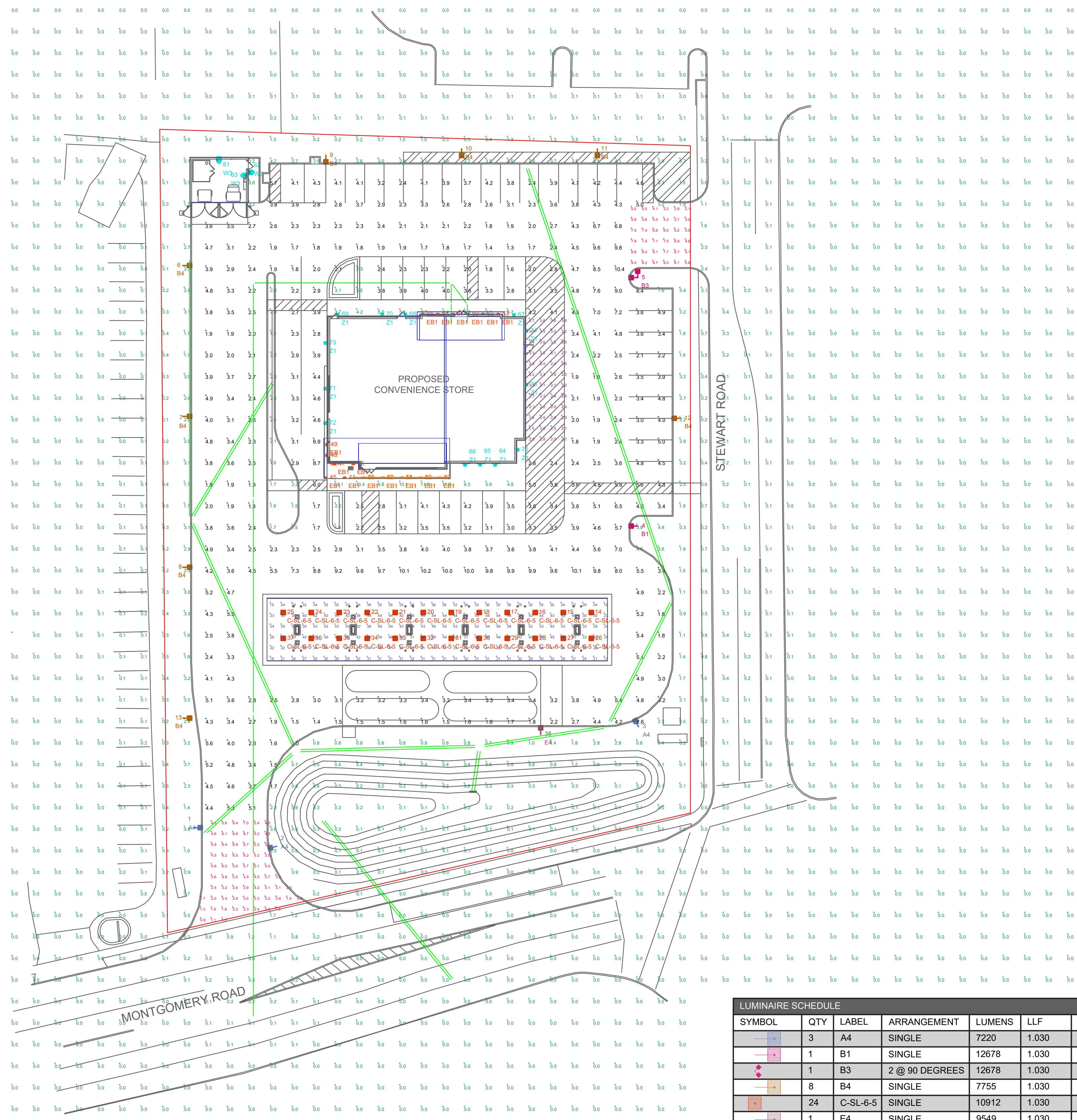
SCALE:

SHEET NAME:

PLANTING DETAILS

SHEET NO.

L101



NOTES:
 - ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A4	17.5
2	A4	17.5
3	A4	16.21
4	B1	17.5
5	B3	17.5
6	B4	17.5
7	B4	17.5
8	B4	17.5
9	B4	17.5
10	B4	17.5
11	B4	17.5
12	B4	17.5
13	B4	17.5
14	C-SL-6-5	18.21
15	C-SL-6-5	18.21
16	C-SL-6-5	18.21
17	C-SL-6-5	18.21
18	C-SL-6-5	18.21
19	C-SL-6-5	18.21
20	C-SL-6-5	18.21
21	C-SL-6-5	18.21
22	C-SL-6-5	18.21
23	C-SL-6-5	18.21
24	C-SL-6-5	18.21
25	C-SL-6-5	18.21
26	C-SL-6-5	16.21
27	C-SL-6-5	16.21
28	C-SL-6-5	16.21
29	C-SL-6-5	16.21
30	C-SL-6-5	16.21
31	C-SL-6-5	16.21
32	C-SL-6-5	16.21
33	C-SL-6-5	16.21
34	C-SL-6-5	16.21
35	C-SL-6-5	16.21
36	C-SL-6-5	16.21
37	C-SL-6-5	16.21
38	E4	17.5
39	EB1	10.5

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
39	EB1	10.5
40	EB1	10.5
41	EB1	10.5
42	EB1	10.5
43	EB1	10.5
44	EB1	10.5
45	EB1	10.5
46	EB1	10.5
47	EB1	10.5
48	EB1	10.5
49	EB1	10.5
50	EB1	10.5
51	EB1	10.5
52	EB1	10.5
53	EB1	10.5
54	EB1	10.5
55	EB1	10.5
56	EF1	12
57	EF1	12
58	EF1	12
59	EF1	12
60	EF1	12
61	W3	8
62	W3	8
63	W3	8
64	Z1	15
65	Z1	15
66	Z1	15
67	Z1	15
68	Z1	15
69	Z1	15
70	Z1	15
71	Z1	15
72	Z1	15
73	Z1	15
74	Z1	15
75	Z1	15
76	Z1	15

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	35.96	49	17	2.12	2.88
DELIVERY AREA	2.82	3.8	1.5	1.88	2.53
ENTRANCES & EXIT DRIVES	4.73	9.7	0.8	5.91	12.13
PARKING & INTERIOR DRIVE AISLES	3.70	10.4	1.0	3.70	10.40
UNDEFINED	0.18	13.4	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A4	SINGLE	7220	1.030	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-XX-700-30K
	1	B1	SINGLE	12678	1.030	B3-U0-G2	134	134	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
	1	B3	2 @ 90 DEGREES	12678	1.030	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
	8	B4	SINGLE	7755	1.030	B1-U0-G2	134	1072	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-30K
	24	C-SL-6-5	SINGLE	10912	1.030	B3-U0-G1	101	2424	CREE, INC.	CAN-304-SL-RD-06-E-UL-XX-525-57K
	1	E4	SINGLE	9549	1.030	B1-U0-G2	134	134	CREE, INC.	ARE-EDG-2MB-DA-06-E-UL-XX-700-57K
	17	EB1	Single	1388	1.000	B1-U1-G0	19	323	WAC Lighting	WP-LED119-30
	5	EF1	SSL-4_1	992	1.000	B1-U1-G0	17.444	348.88	FC Lighting	CVLWET1.5-4-3K-80CRI-1040
	3	W3	SINGLE	1557	1.030	B0-U0-G1	25	75	CREE, INC.	SEC-EDG-3MB-WM-02-E-UL-XX-350-57K
	13	Z1	Single	2710	1.020	B0-U0-G1	25.31	329.03	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	ISC-AF-450-LED-E1-SL4-WH-7030

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SCALE: 1" = 30'
 LAYOUT BY: LMP
 DWG SIZE: D
 DATE: 06/12/24

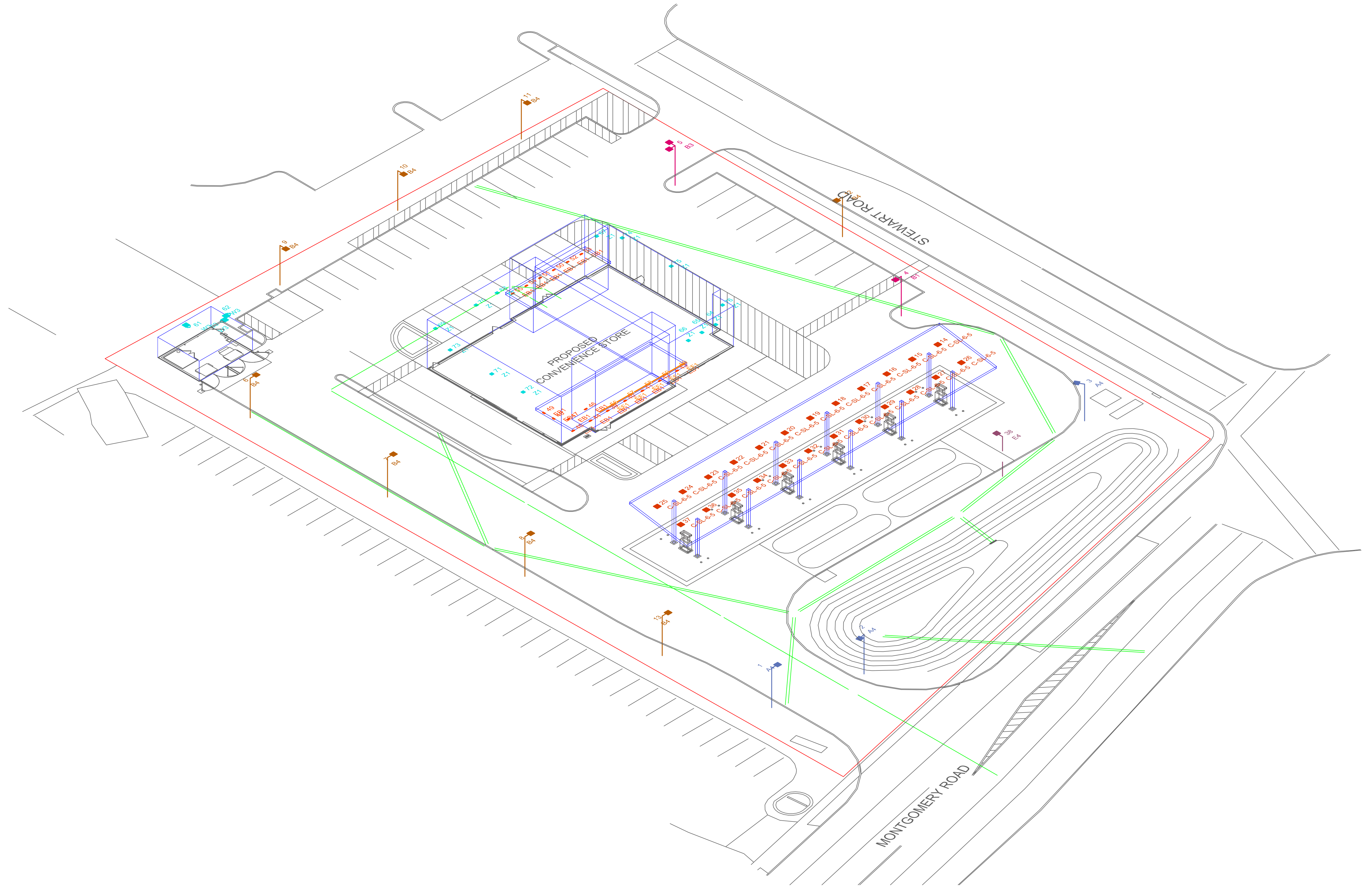
PROJECT NAME:
WAWA
 SILVERTON, OH.
 DRAWING NUMBER:
RL-9687-S1



REDLEONARD
 ASSOCIATES
 1340 Kemper Meadow Dr. Forest Park, OH 45640
 513-574-9500 | redleonard.com

REV.	BY	DATE	DESCRIPTION

AREA	
CANOPY	
WALL MOUNTED	
COVELINE	
WALL MOUNTED	
WALL MOUNTED	



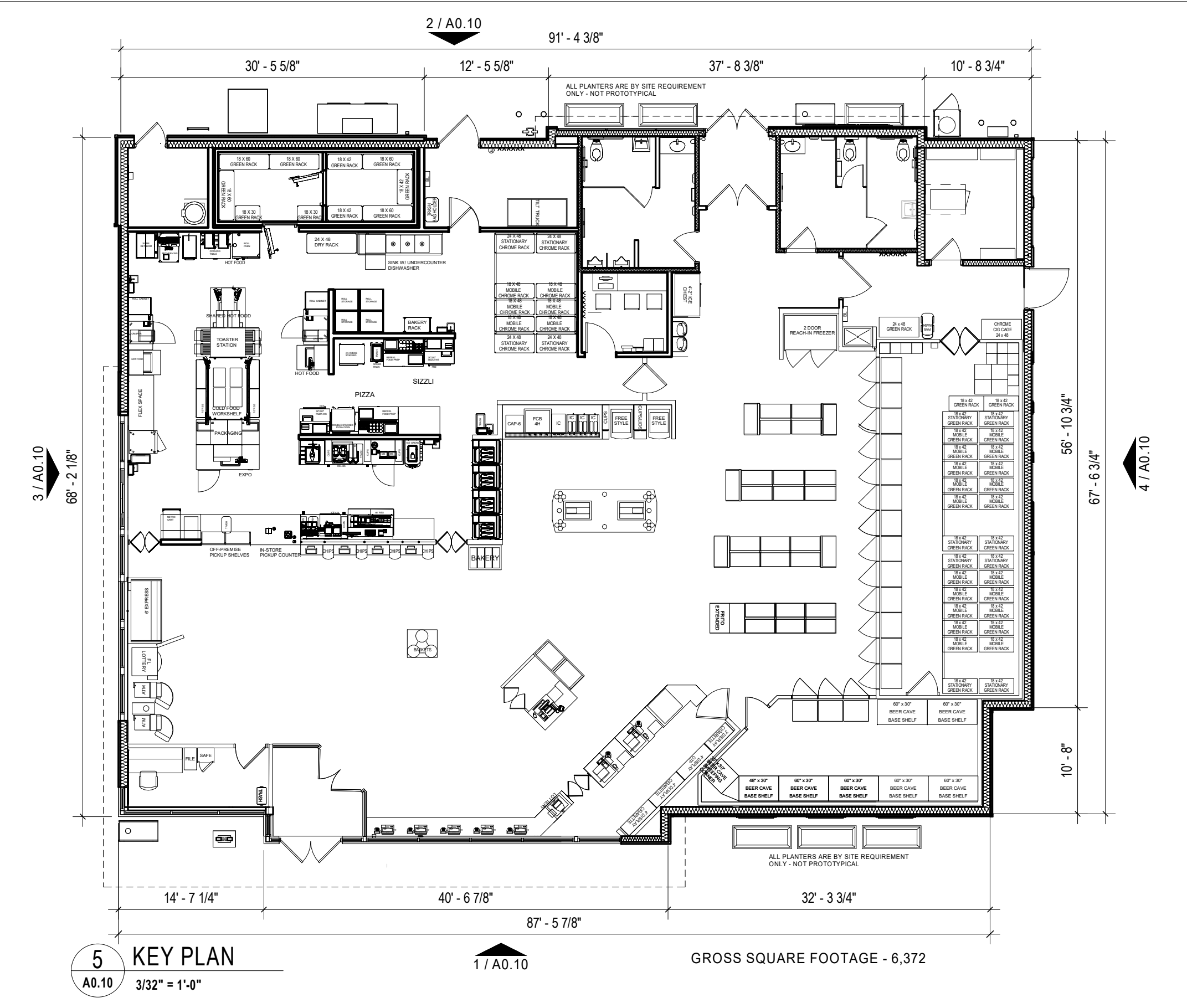
STM Sewer Report

Line No.	Line ID	Inlet ID	Drain Area (ac)	Total Area (ac)	Inlet Time (min)	Pipe Travel (min)	Tc System (min)	i Inlet (in/hr)	i Syst (in/hr)	Runoff Coeff (C)	Incr CxA	Total C x A	Flow Rate (cfs)	n-value Pipe	Line Size (in)	Line Length (ft)	Line Slope (%)	Invert Up (ft)	Invert Dn (ft)	Vel Ave (ft/s)	Capac. Full (cfs)	Sf Ave (ft/ft)	HGL Up (ft)	Grnd/Rim Elev Up (ft)	Cover Up (ft)	Cover Dn (ft)	Grnd/Rim Elev Dn (ft)	HGL Dn (ft)
1	WQ-DET	WATER QUANTITY STRUCTURE			0.0	0.04	11.2	0.00	4.97	0.00	0.00	1.36	6.75	0.013	15	21.33	3.00	835.64	835.00	7.04	11.18	0.011	836.68	841.96	5.07	1.69	837.94	835.82
2	100-WQ	100	0.104	0.689	10.0	0.10	11.1	5.15	4.98	0.95	0.10	0.65	3.26	0.013	12	59.99	6.08	839.29	835.64	4.60	8.78	0.009	840.06	844.06	3.77	5.32	841.96	837.11
3	101-100	101	0.185	0.585	10.0	0.16	11.0	5.15	5.00	0.95	0.18	0.56	2.78	0.013	12	66.95	2.50	840.96	839.29	4.11	5.63	0.007	841.67	844.73	2.76	3.78	844.06	840.34
4	102-101	102	0.251	0.399	10.0	0.15	10.8	5.15	5.03	0.95	0.24	0.38	1.91	0.013	12	40.60	1.00	841.37	840.96	3.05	3.56	0.004	842.00	845.31	2.94	2.76	844.73	841.95
5	103-102	103	0.149	0.149	10.0	0.82	10.0	5.15	5.15	0.95	0.14	0.14	0.73	0.013	12	175.23	1.00	843.12	841.37	1.88	3.56	0.003	843.48	846.62	2.50	2.94	845.31	842.40
6	104-WQ	104	0.000	0.742	0.0	0.25	10.9	0.00	5.01	0.00	0.00	0.70	3.53	0.013	12	85.39	1.24	836.70	835.64	4.49	3.97	0.010	837.93	842.28	4.58	5.32	841.96	837.09
7	105-104	105	0.244	0.653	10.0	0.15	10.8	5.15	5.03	0.95	0.23	0.62	3.12	0.013	12	87.52	4.90	840.99	836.70	4.46	7.88	0.008	841.74	844.31	2.32	4.58	842.28	838.29
8	107-105	107	0.102	0.102	10.0	0.32	10.0	5.15	5.15	0.95	0.10	0.10	0.50	0.013	12	87.22	2.80	843.43	840.99	1.58	5.96	0.003	843.73	846.93	2.50	2.32	844.31	842.12
9	106-105	106	0.307	0.307	10.0	0.78	10.0	5.15	5.15	0.95	0.29	0.29	1.50	0.013	12	156.59	0.50	841.77	840.99	2.37	2.52	0.003	842.41	845.27	2.50	2.33	844.31	842.09
10	108-104	108	0.088	0.088	10.0	0.41	10.0	5.15	5.15	0.95	0.08	0.08	0.43	0.013	12	59.14	0.50	837.00	836.70	0.55	2.52	0.000	838.44	840.50	2.50	4.57	842.28	838.43

Notes: IDF File = Butler County Subdiv Reg IDF Curve.idf, Return Period = 10-yrs.

STM Sewer Report

Line No.	Line ID	Inlet ID	Drain Area (ac)	Total Area (ac)	Inlet Time (min)	Pipe Travel (min)	Tc System (min)	i Inlet (in/hr)	i Syst (in/hr)	Runoff Coeff (C)	Incr CxA	Total C x A	Flow Rate (cfs)	n-value Pipe	Line Size (in)	Line Length (ft)	Line Slope (%)	Invert Up (ft)	Invert Dn (ft)	Vel Ave (ft/s)	Capac. Full (cfs)	Sf Ave (ft/ft)	HGL Up (ft)	Grnd/Rim Elev Up (ft)	Cover Up (ft)	Cover Dn (ft)	Grnd/Rim Elev Dn (ft)	HGL Dn (ft)
1	WQ-DET	WATER QUANTITY STRUCTURE			0.0	0.04	11.2	0.00	5.58	0.00	0.00	1.36	7.59	0.013	15	21.33	3.00	835.64	835.00	6.42	11.18	0.013	836.74	841.96	5.07	1.69	837.94	836.25
2	100-WQ	100	0.104	0.689	10.0	0.09	11.1	5.75	5.60	0.95	0.10	0.65	3.66	0.013	12	59.99	6.08	839.29	835.64	5.01	8.78	0.011	840.10	844.06	3.77	5.32	841.96	837.22
3	101-100	101	0.185	0.585	10.0	0.15	10.9	5.75	5.62	0.95	0.18	0.56	3.12	0.013	12	66.95	2.50	840.96	839.29	4.46	5.63	0.008	841.71	844.73	2.76	3.78	844.06	840.40
4	102-101	102	0.251	0.399	10.0	0.14	10.8	5.75	5.64	0.95	0.24	0.38	2.14	0.013	12	40.60	1.00	841.37	840.96	3.06	3.56	0.004	842.12	845.31	2.94	2.76	844.73	842.02
5	103-102	103	0.149	0.149	10.0	0.80	10.0	5.75	5.75	0.95	0.14	0.14	0.81	0.013	12	175.23	1.00	843.12	841.37	1.99	3.56	0.003	843.50	846.62	2.50	2.94	845.31	842.44
6	104-WQ	104	0.000	0.742	0.0	0.25	10.9	0.00	5.62	0.00	0.00	0.70	3.96	0.013	12	85.39	1.24	836.70	835.64	5.04	3.97	0.012	838.24	842.28	4.58	5.32	841.96	837.19
7	105-104	105	0.244	0.653	10.0	0.15	10.8	5.75	5.64	0.95	0.23	0.62	3.50	0.013	12	87.52	4.90	840.99	836.70	4.85	7.88	0.010	841.78	844.31	2.32	4.58	842.28	838.70
8	107-105	107	0.102	0.102	10.0	0.31	10.0	5.75	5.75	0.95	0.10	0.10	0.56	0.013	12	87.22	2.80	843.43	840.99	1.66	5.96	0.003	843.75	846.93	2.50	2.32	844.31	842.21
9	106-105	106	0.307	0.307	10.0	0.76	10.0	5.75	5.75	0.95	0.29	0.29	1.68	0.013	12	156.59	0.50	841.77	840.99	2.41	2.52	0.002	842.51	845.27	2.50	2.33	844.31	842.17
10	108-104	108	0.088	0.088	10.0	0.40	10.0	5.75	5.75	0.95	0.08	0.08	0.48	0.013	12	59.14	0.50	837.00	836.70	0.61	2.52	0.000	838.89	840.50	2.50	4.57	842.28	838.88



5 KEY PLAN
A0.10 3/32" = 1'-0"
GROSS SQUARE FOOTAGE - 6,372

MATERIALS:

- 1 BRICK
- 2 COMPOSITE SIDING
- 3 EIFS OR STUCCO
- 4 ROOF: SLATE
- 5 TILE
- 6 METAL OVERHANG BRITE RED



NOTE: PLANTERS AND SEATING ARE NOT STANDARD, INCLUDE ONLY PER SITE SPECIFIC REQUIREMENTS

2 REAR ELEVATION
A0.10 3/16" = 1'-0"



3 LEFT ELEVATION
A0.10 3/16" = 1'-0"



4 RIGHT ELEVATION
A0.10 3/16" = 1'-0"

CUSTOMER APPROVAL

Approved Approved as Noted Not Approved
Resubmit with Changes

Print Name _____

Title _____

Signature _____

Date _____



BRANDBOOK

CLIENT: Wawa
LOCATION: Village of Silverton,
Hamilton, OH
DATE: 6/11/2024
VARIANCE: YES

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CONTACTS

Email: Wawa@blairimage.com

DOCUMENT INFO

BLAIR PROJECT#: 111378
SALES ORDER #: TBD
DOC #: AD-TCA-111378-Hamilton-REV2

REVISIONS

REV	DATE	DESCRIPTION
1	5/2/24	UPDATE AS PER REQUEST
2	6/11/24	UPDATE AS PER REQUEST

BRAND STANDARD
REVISION DATE:

- All provided image elements and / or services meet the current brand revision.
- The following image elements and / or services do not meet the current brand standard due to municipal code and / or specific site conditions. _____

blair
IMAGE ELEMENTS™



Sign Legend

**Illuminated
Face Lit Channel letters &
Halo Lit Logo**

Wawa 24"
Wawa 28"
Wawa 31"
Wawa 32"
Wawa 35"
Wawa 38"
Wawa 44"
Wawa 53"
Wawa 59"

**D/F Illuminated
Pylon Signs**

P-50, P-75,
P-100, P-150
P-200

**D/F Illuminated
Monument Signs**

M-50

**D/F Illuminated
Directional Signs**

30" Vehicular Directional
20" Vehicular Directional
16" Vehicular Directional

**S/F Illuminated
Canopy Signs**

S/F LED Illuminated
Canopy Sign

**D/F Non-Illuminated
Pump Spanners**

Straight Pumps
Stacked Pumps

**D/F Non-Illuminated
Pump Indicators**

Gas
Gas / Diesel
Gas / Diesel / Ethanol Free

Color Material Legend

	EXAMPLE	CLIENT COLOR	PANTONE (PMS)	VINYL; <i>Opacity (V)</i>	PLASTIC (PL)	PAINT (P)	TRIM CAP (TC)
1.		White		3M 7725-10 'White'; Opaque	#7328 White	White; Smooth Satin	Standard White
2.		Milky White		3M 3635-70 'Diffuser Film'; Trans.	#2447 Milky White		Standard White
3.		Black Gloss	PMS Process BlackC	3M 7725-12 'Black'; Opaque	#2025 Opaque Black	RAL-9004 Signal Black	Standard Black
4.		Wawa Grey				Paint to Match PMS 421C	Jewelite 'Silver'
11.		Wawa Red 186	PMS 186C	3M 7725-263 'Perfect Match Red'; Opaque 3m 3630-83 'Regal Red'; Trans.	#2793 Red	Paint to Match PMS 186C	Jewelite 'Red'
13.						RAL #1013 Oyster White	
16.		Kelly Green / Vivid Green	PMS 355C	3M 7725-46 'Kelly Green'; Opaque 3M 3630-156 'Vivid Green'; Trans.		Paint to Match PMS 355C	Jewelite 'Green'
17.		Olympic Blue	PMS 7461C	3M 7725-57 'Olympic Blue'; Opaque 3M 3630-57 'Olympic Blue'; Trans.		Paint to Match PMS 7461C	
20.		Limestone Cap					
21.		Masonry/Stone Fascia					
22.		#12 Brushed Aluminum - Metal Finish					
23.		Wawa Grey - Perforated Print		3M 3635-210 Perforated 'White' Vinyl			
24.		Diesel Number Sign Green	PMS 377C			Paint to Match PMS 377C	

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Wawa
Village of Silverton,
Hamilton, OH

STORE #
C-06495

Issue Date: 5/1/2024
Drawn By: Mike C.

Rev: 2
Date: 6/11/2024
Doc #: AD-WAW-111378-Hamilton-REV2
Blair Project #: 111378
Blair Sales Order #: TBD

Blair Image Elements
5107 Kissell Avenue
Altoona, PA 16601
P: (814) 949.8287
blairimage.com





SIGN ID	DESCRIPTION	QTY
S1	WAWA CHANNEL LETTERS WITH GOOSE	1
S2	WALL PANELS (SET OF 3)	1
S3	WAWA CHANNEL LETTERS WITH GOOSE	1
S4	WELCOME PANEL	1
S5	WALL PANELS (SET OF 2)	1
S6	WAWA CHANNEL LETTERS WITH GOOSE	1
S7	WALL PANELS (SET OF 2)	1
S8	DOUBLE FACE MONUMENT SIGN	2
S9	GAS CANOPY SIGN	1
S10	CANOPY SPANNERS	2
S11	PUMP INDICATORS	6
S12	PUMP INDICATORS	6

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Wall Signs	ALLOWED total sf	CURRENTLY INSTALLED	PROPOSED	CODE	VARIANCE (Y/N)
S1 Front Elevation Ch. Letters	60 SF		120.8 SF	MAX ALLOWANCES: ** as a corner lot: 2 sign max allowed NTE 1sf per lf of shortest frontage, max 60sf Signs may be externally illuminated only	Y
S2 Front Elevation Art Panels	ARCHITECTURAL / ARTISTIC FEATURES		84 SF		Y
S3 Rear Elevation Ch. Letters	60 SF		67.71 SF		Y
S4 Rear Elevation Welcome Sign	0 SF		20.83 SF		Y
S5 Rear Elevation Art Panels	ARCHITECTURAL / ARTISTIC FEATURES		56 SF		Y
S6 Side Elevation Ch. Letters	0 SF		42.5 SF		Y
S7 Rear Elevation Art Panels	ARCHITECTURAL / ARTISTIC FEATURES		56 SF		Y
Free Standing Signs	ALLOWED total sf	CURRENTLY INSTALLED	PROPOSED	CODE	VARIANCE (Y/N)
S8 - CUSTOM D/F ILLUMINATED MONUMENT SIGN (OPTION 1)	50 SF		54.70 SF	1 freestanding sign allowed NTE 1 sq ft p/linear foot of frontage / Max: 25 sq ft each face; 50sf Max height from base is 5ft **LED PRICERS NOT ALLOWED** Manual gasoline service station pricing boards must not exceed 8sf.	Y
S8 - CUSTOM D/F ILLUMINATED MONUMENT SIGN (OPTION 1)	50 SF		54.70 SF		Y
S8 - CUSTOM D/F ILLUMINATED MONUMENT SIGN (OPTION 2)	50 SF		61.75 SF		Y
S8 - CUSTOM D/F ILLUMINATED MONUMENT SIGN (OPTION 2)	50 SF		61.75 SF		Y
Canopy	ALLOWED total sf	CURRENTLY INSTALLED	PROPOSED	CODE	VARIANCE (Y/N)
S9 Gas Canopy Channel Letters	30 SF		9.02 SF	Canopy square footage NTE 30sf aggregate Other information signage on pumps is allowed provided it doesn't exceed 4sqf	N
S10 Spanner	20.98 SF		7.9 SF		N
S10 Spanner	20.98 SF		7.9 SF		N
S11 Pump Id's	4/ea		1/ea		N
S12 Pump Id's	4/ea		1/ea		N

COMMENTS
<p>Site is in the Village of Silverton and is currently zoned C-1 Neighborhood Commercial. Permits will take approximately 3-4 weeks to procure and will be valid for one year Variances are allowed but are not guaranteed and may take 4+ months to obtain approval as the length of time is unknown.</p> <p>WALL SIGNS: Corner lots in the C-1 Districts having frontage on more than one public street shall have a [SEE CODE] however, there shall be no increase in the number of ground mounted or free standing signs allowed. - No projecting sign in the C-1 Districts shall be internally illuminated. - In addition to the materials and color requirements set forth herein, projecting signs located in the C-1 District shall not be designed in a square or rectangular shape. Projecting signs: The bottom of any projecting sign shall be a minimum of eight feet above any side walk and 15 feet above any driveway.</p> <p>-----</p> <p>FREESTANDING: - SETBACK: (d) All signs shall be set back at least 7ft from street frontage and 10' from any side yard lot line. DIRECTIONALS: NTE 3sf / 3ft OAH may not be internally illuminated</p>



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Hamilton, OH

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**NOTE: WOODGRAIN PANEL
TO BE CENTERED
WITH LIGHT FIXTURE**

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Wawa
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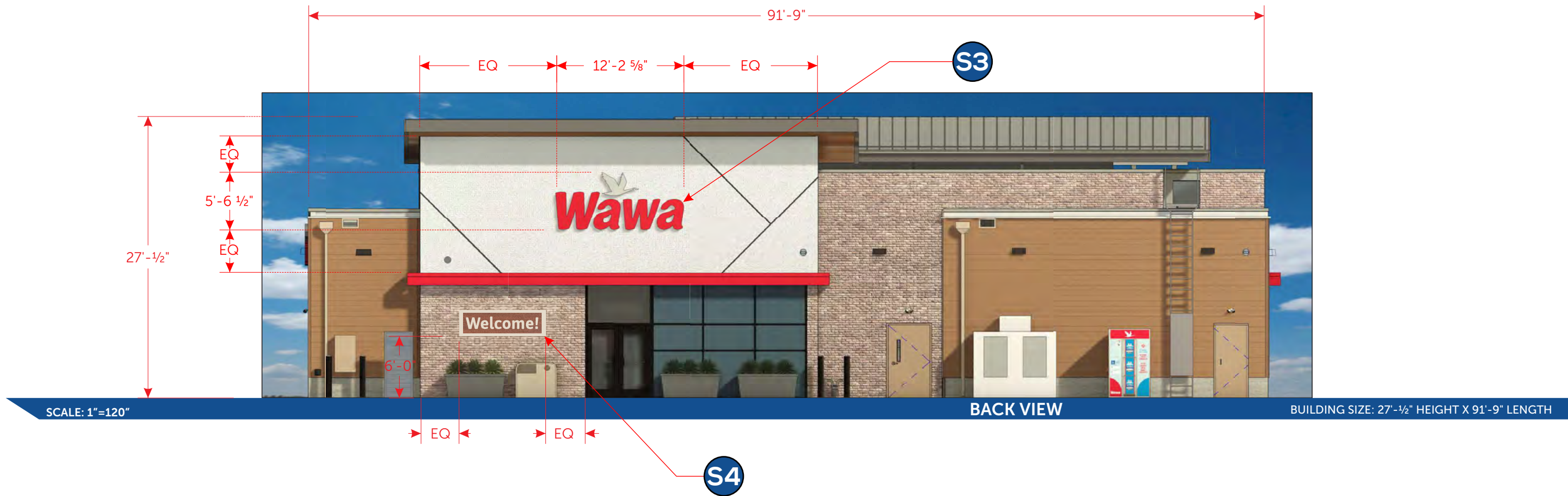
STORE #
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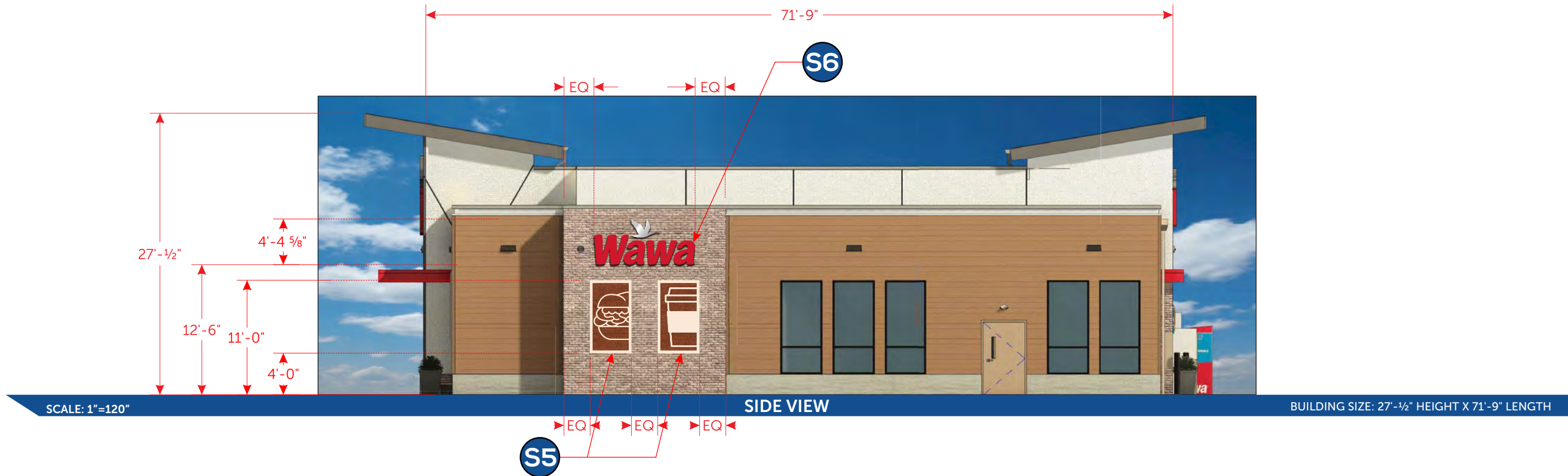
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	<p>Wawa Village of Silverton, Hamilton, OH</p>	<p>STORE # C-06495</p>	<p>Issue Date: 5/1/2024 Drawn By: Mike C.</p>	<p>Page 7</p>	<p>Rev: 2 Date: 6/11/2024 Doc #: AD-WAW-111378-Hamilton-REV2 Blair Project #: 111378 Blair Sales Order #: TBD</p>	<p>Blair Image Elements 5107 Kissell Avenue Altoona, PA 16601 P: (814) 949.8287 blairimage.com</p>	
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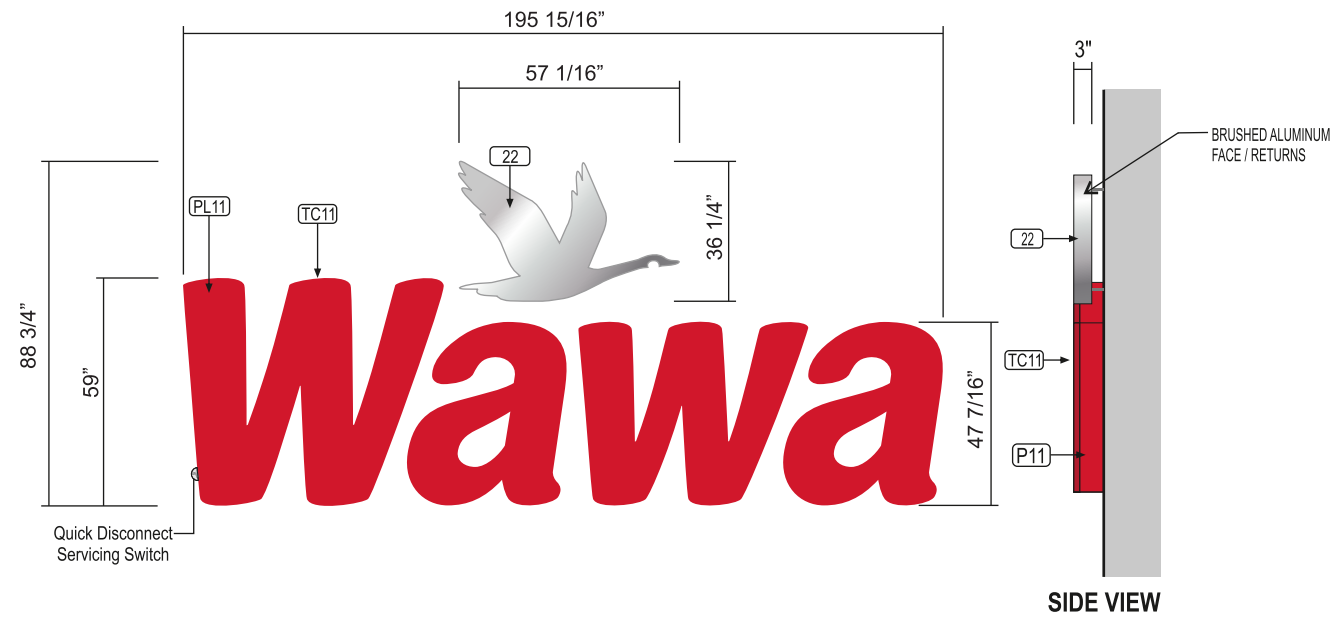
Issue Date: 5/1/2024
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QTY: 1



NOTE: THE CONSTRUCTION IS THE SAME BUT THE LETTERS WILL NOT BE ILLUMINATED. EXTERNAL ILLUMINATION TO BE DETERMINED AND PROVIDED BY THE GC.

X 59" NON ILLUMINATED CHANNEL LETTERS W/ GOOSE LOGO

SCALE: NTS





STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
 SQ.FT. of ONE(1) GEOMETRIC SHAPE = **120.8 SQ FT**

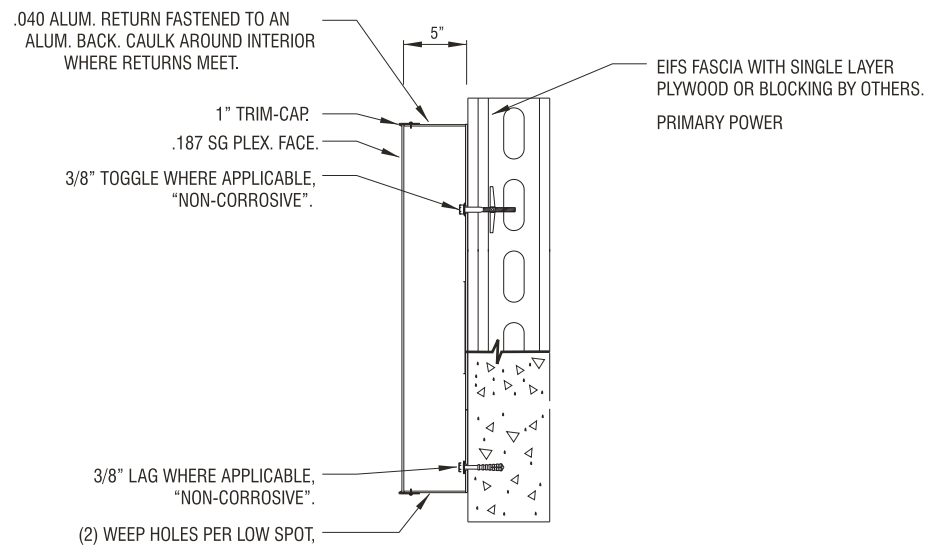
WALL MATERIAL:
to vary per site

INSTALL:
 Logo: Thru bolted w/ 2" stand off from wall
 Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

QUANTITY:
(1) one set required

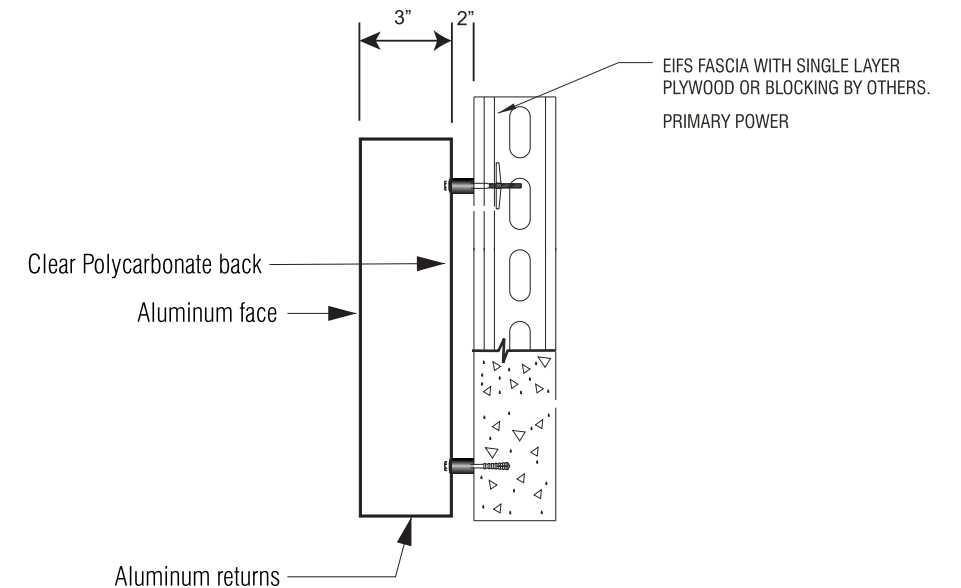
COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ NON-ILLUMINATED CHANNEL LETTER

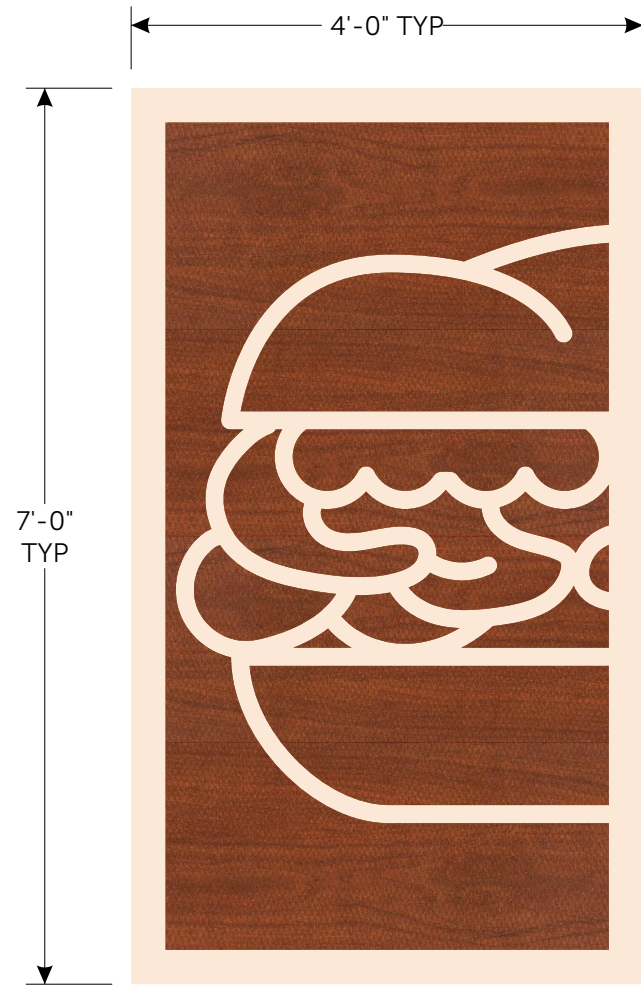
SCALE: NTS



SECTION @ NON-ILLUMINATED GOOSE LOGO

SCALE: NTS

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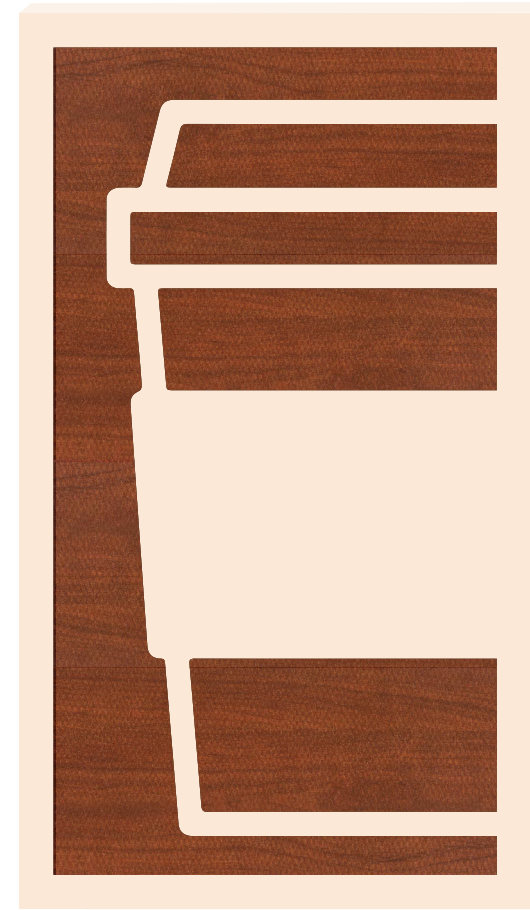
FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.



FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.



ISOMETRIC VIEW

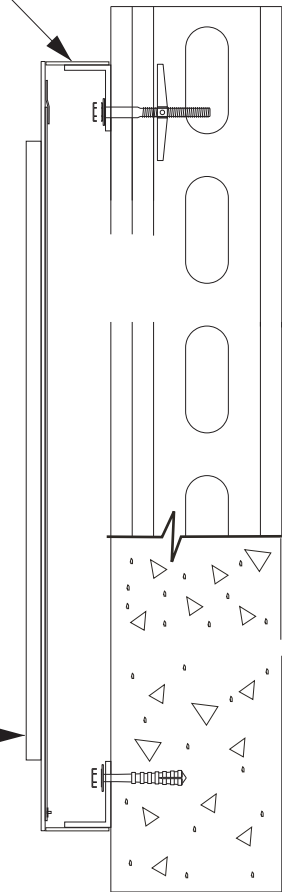
FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.

Boarder to be digitally printed on same level as wood grain. Copy to be acrylic push thru.

ACM panel

Clear Acrylic Push Thru For Copy Area Only 2nd surface vinyl or digital print

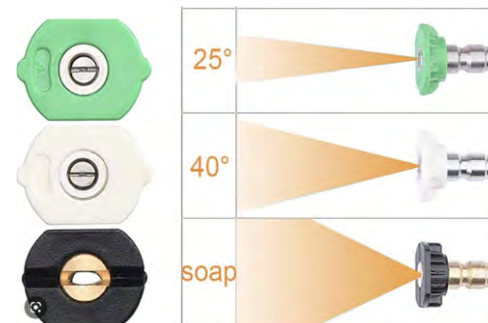


SECTION @ Non Lit ACM Push Thru

SCALE: NTS

CLEANING CRITERIA

Pressure Wash Acceptable. If using 25° tip and over. Use ONLY mild detergent soap and water.



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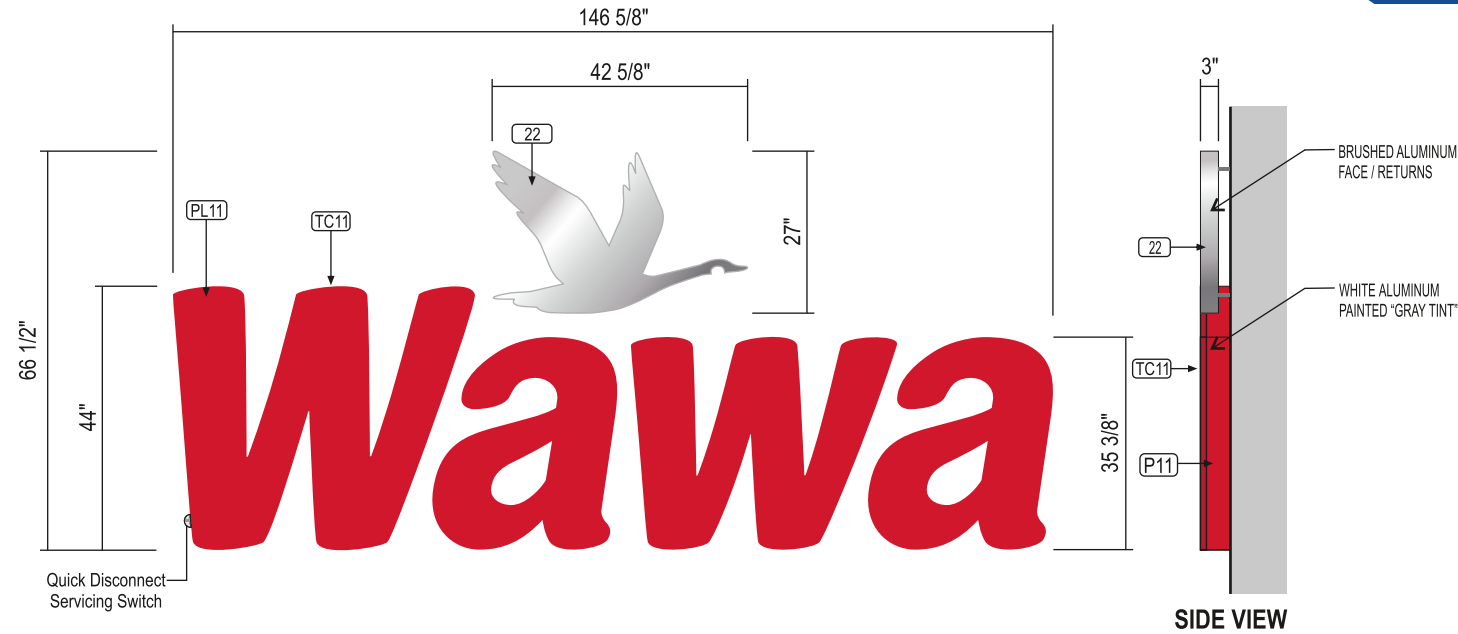


Wawa
Village of Silverton,
Hamilton, OH

STORE #
C-06495

Issue Date: 5/1/2024
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QTY: 1



NOTE: THE CONSTRUCTION IS THE SAME BUT THE LETTERS WILL NOT BE ILLUMINATED. EXTERNAL ILLUMINATION TO BE DETERMINED AND PROVIDED BY THE GC.

X 44" NON ILLUMINATED CHANNEL LETTERS W/ GOOSE LOGO

SCALE: 3/8"=1'-0"

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of ONE(1) GEOMETRIC SHAPE = 67.71 SQ. FT.

WALL MATERIAL:

to vary per site

INSTALL:

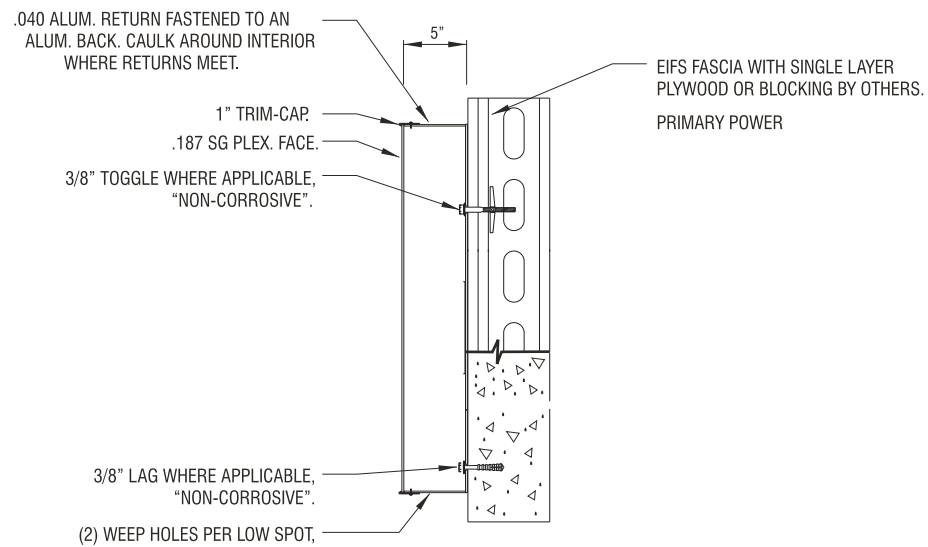
Logo: Thru bolted w/ 2" stand off from wall
Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

QUANTITY:

(1) one set required

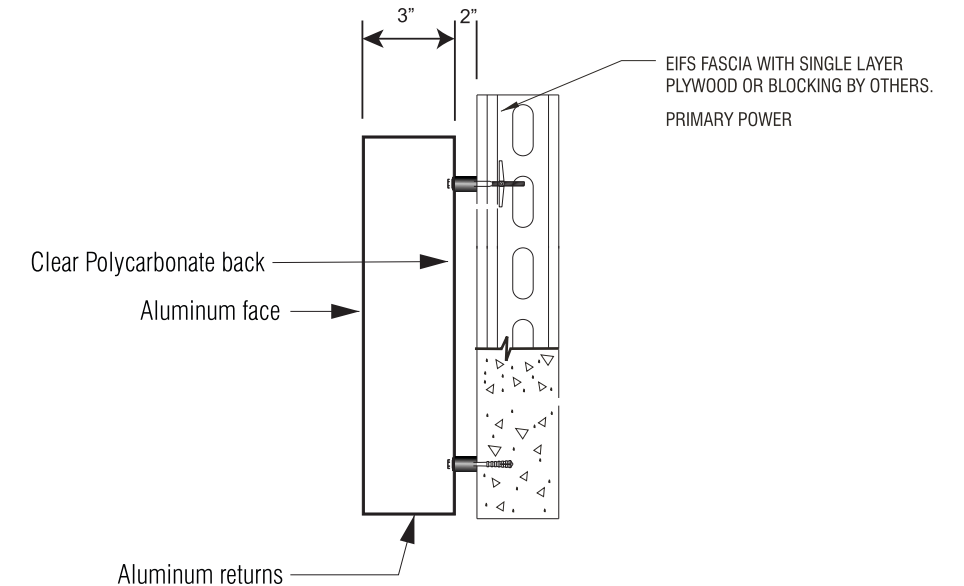
COLOR PALETTE

	LOGO: 22 #12 Brushed Alum. Metal finish		LETTER RETURNS: P11 Pantone 186 Red
	TRIMCAP: TC11 Jewelite Red		FACES: PL11 2793 Red acrylic



SECTION @ NON-ILLUMINATED CHANNEL LETTER

SCALE: NTS



SECTION @ NON-ILLUMINATED GOOSE LOGO

SCALE: NTS

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STORE #
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Rev: 2
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blairimage.com





Boarder to be digitally printed on same level as wood grain. Copy to be acrylic push thru.

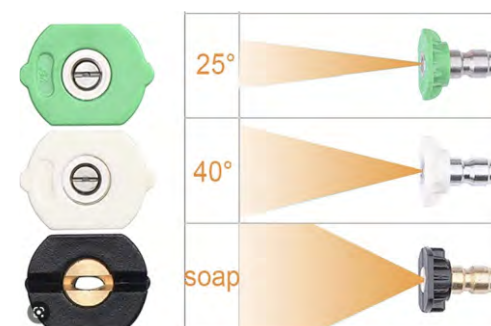
ACM panel

Clear Acrylic Push Thru
For Copy Area Only
2nd surface vinyl or digital print

SECTION @ Non Lit ACM Push Thru

SCALE: NTS

CLEANING CRITERIA
Pressure Wash Acceptable.
If using 25° tip and over.
Use ONLY mild detergent soap and water.



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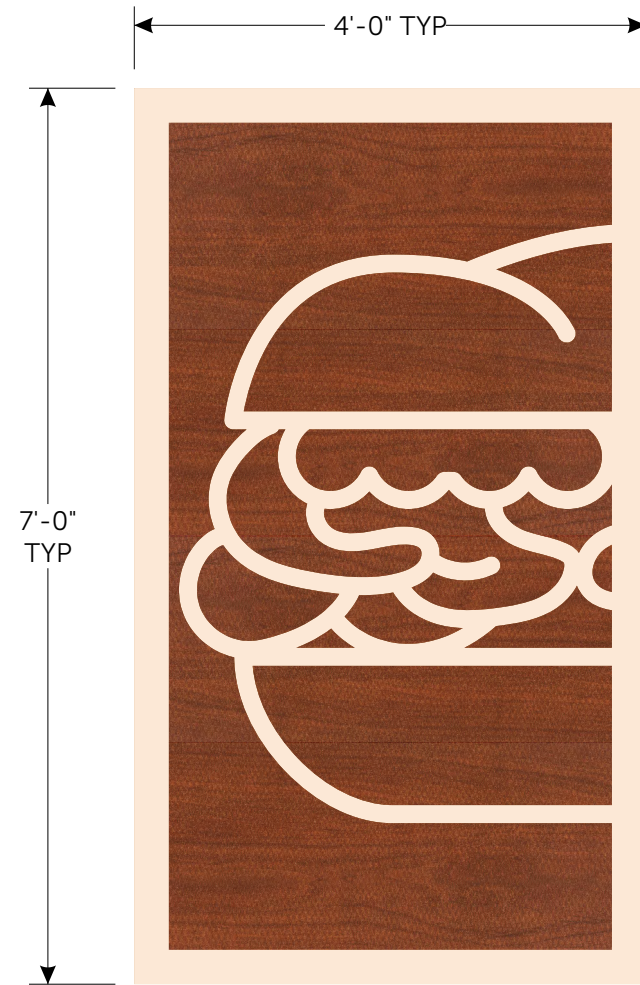


Wawa
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Hamilton, OH

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FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.

ISOMETRIC VIEW

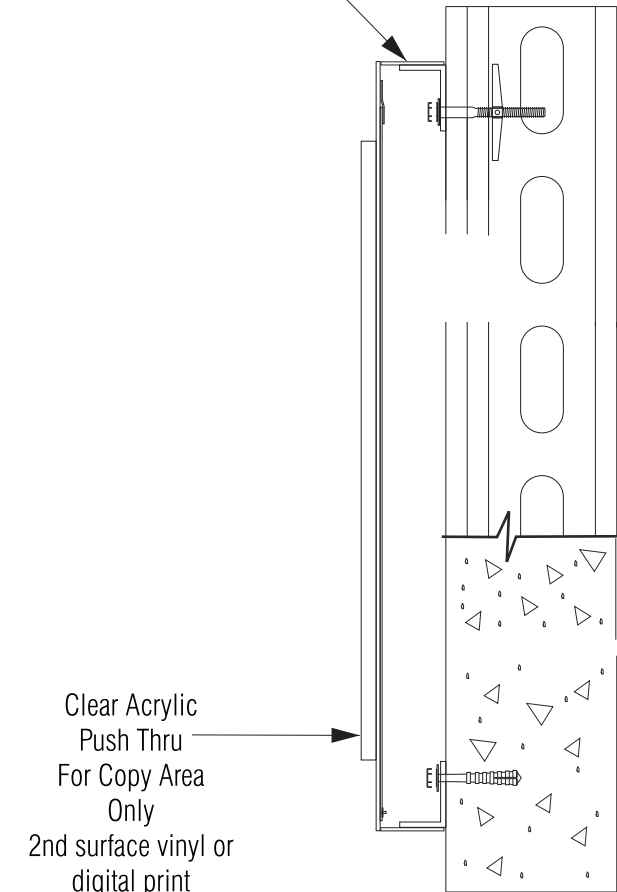


FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.

Boarder to be digitally printed on same level as wood grain.
Copy to be acrylic push thru.

ACM panel

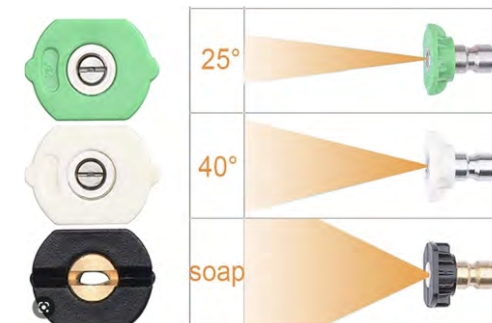


Clear Acrylic Push Thru
For Copy Area Only
2nd surface vinyl or digital print

SECTION @ Non Lit ACM Push Thru

SCALE: NTS

CLEANING CRITERIA
Pressure Wash Acceptable.
If using 25° tip and over.
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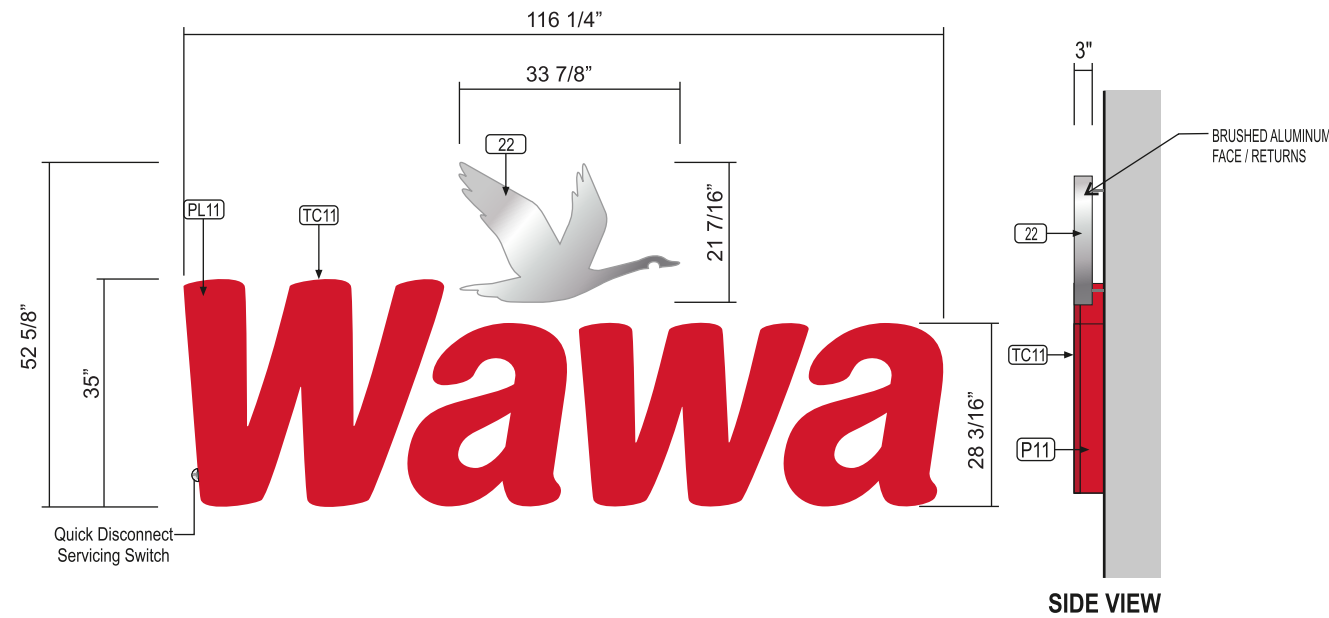


Wawa
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QTY: 1



NOTE: THE CONSTRUCTION IS THE SAME BUT THE LETTERS WILL NOT BE ILLUMINATED. EXTERNAL ILLUMINATION TO BE DETERMINED AND PROVIDED BY THE GC.

X 35" NON ILLUMINATED CHANNEL LETTERS W/ GOOSE LOGO

SCALE: 3/8"=1'-0"





STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
SQ.FT. of ONE(1) GEOMETRIC SHAPE = **42.5 SQ FT**

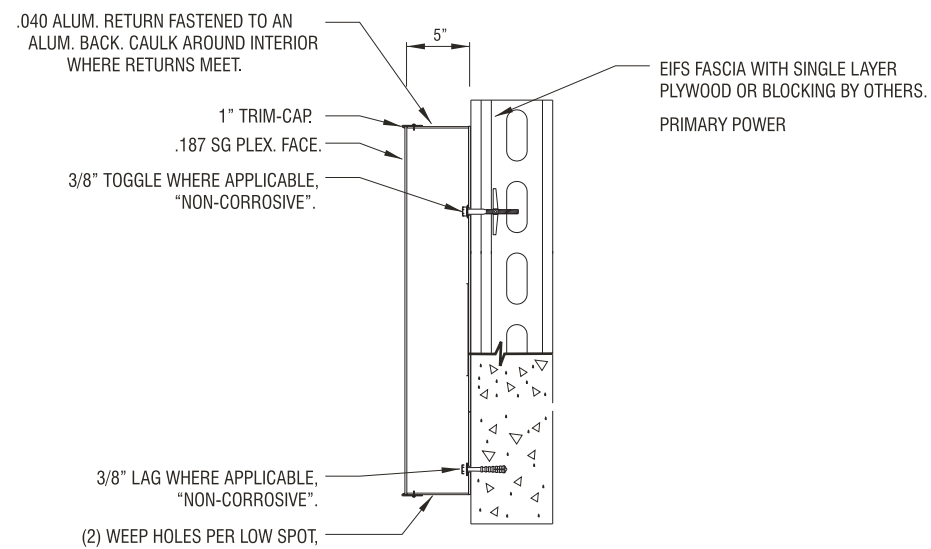
WALL MATERIAL:
to vary per site

INSTALL:
Logo: Thru bolted w/ 2" stand off from wall
Letters Thru bolted flush; all w/ min 3/8" dia all thread into approved blocking; spacers provided for logo painted to match wall

QUANTITY:
(1) one set required

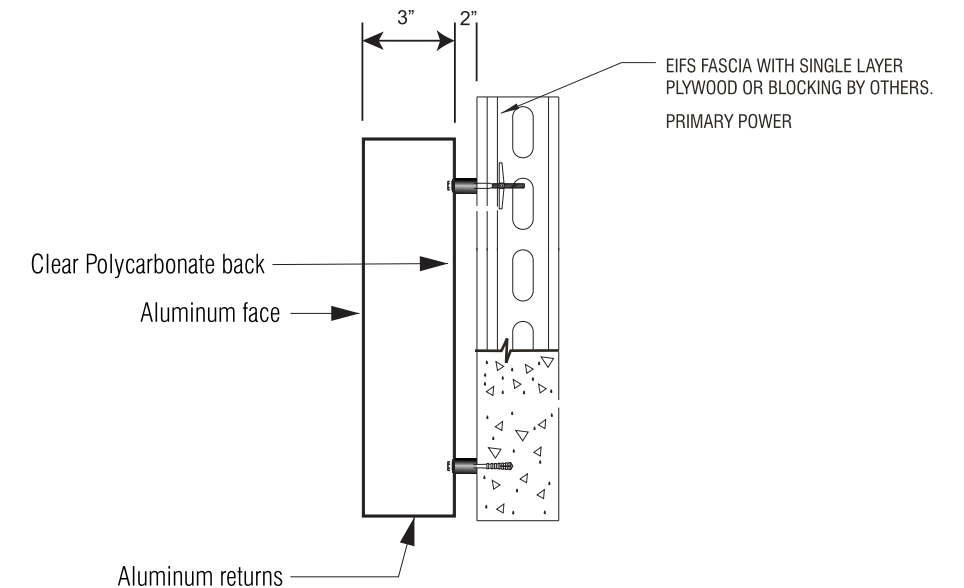
COLOR PALETTE

 LOGO: 22 #12 Brushed Alum. Metal finish	 LETTER RETURNS: P11 Pantone 186 Red
 TRIMCAP: TC11 Jewelite Red	 FACES: PL11 2793 Red acrylic



SECTION @ NON-ILLUMINATED CHANNEL LETTER

SCALE: NTS



SECTION @ NON-ILLUMINATED GOOSE LOGO

SCALE: NTS

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FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.

ISOMETRIC VIEW

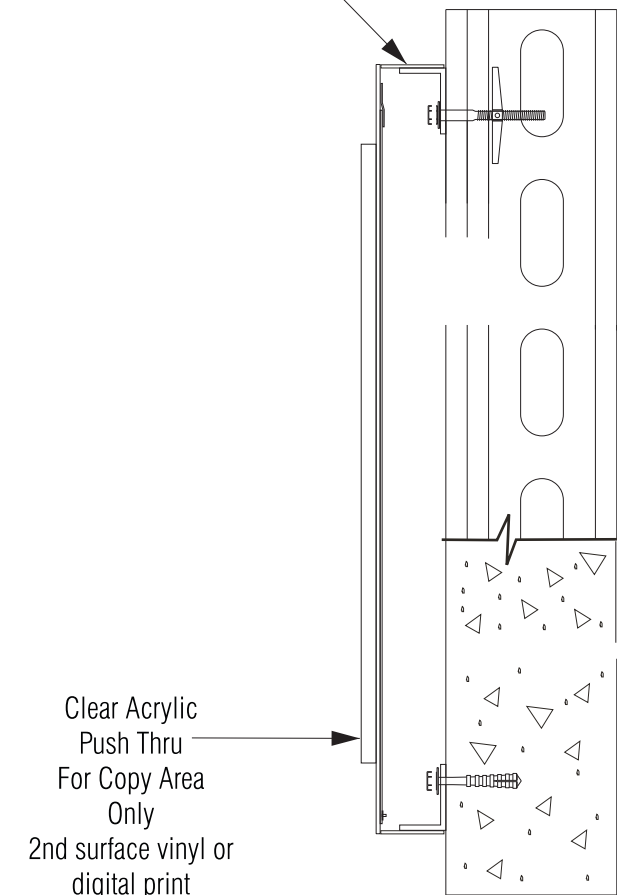


FRONT VIEW

SCALE: 1"=18" 28 SQ.FT.

Boarder to be digitally printed on same level as wood grain. Copy to be acrylic push thru.

ACM panel

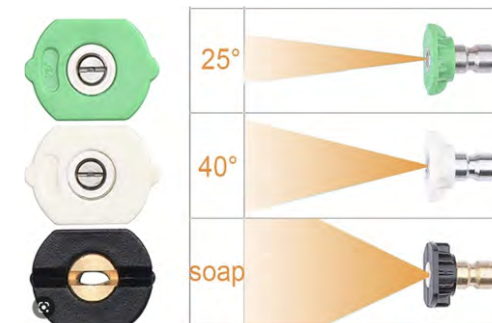


Clear Acrylic Push Thru For Copy Area Only
2nd surface vinyl or digital print

SECTION @ Non Lit ACM Push Thru

SCALE: NTS

CLEANING CRITERIA
Pressure Wash Acceptable.
If using 25° tip and over.
Use ONLY mild detergent soap and water.



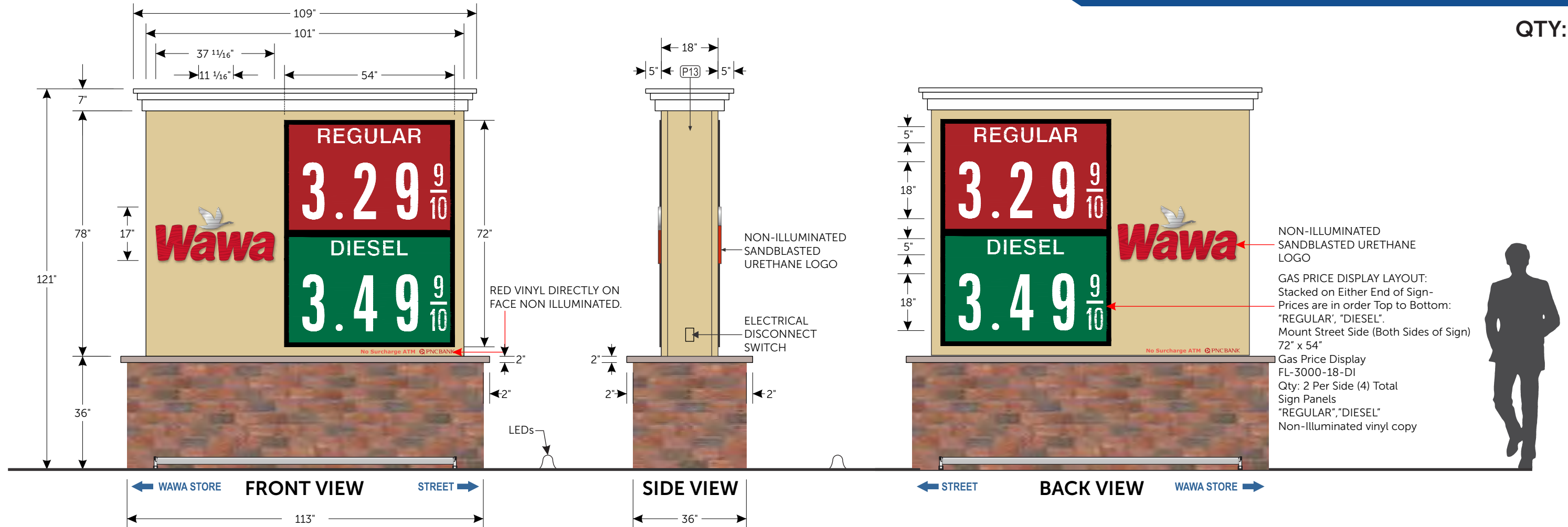
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Issue Date: 5/1/2024
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18"/2 PRODUCT
M-50 D/F EXTERNALLY ILLUMINATED MONUMENT SIGN (54.70 SQ.FT.)

STANDARD SPECS SEE COLOR SPECIFICATION LIBRARY

SCALE: 3/8"=1'



P11 Painted to match PMS 187C

V1 3M 7725-10 'White' Opaque

V5 3M 3630-33 'Red' Translucent

V16 3M 3630-156 'Vivid Green' Translucent

V15 3M 7725-13 'Tomato Red' Opaque

P22 Paint to match Matthews Paint 'Brushed Aluminum'

P13 'Sandlewood in Sandblast' DRYVIT SC13_082SB

P1 Painted White Smooth Satin

20 Limestone Cap By Others

21 Stone/Masonry Fascia Base By Others

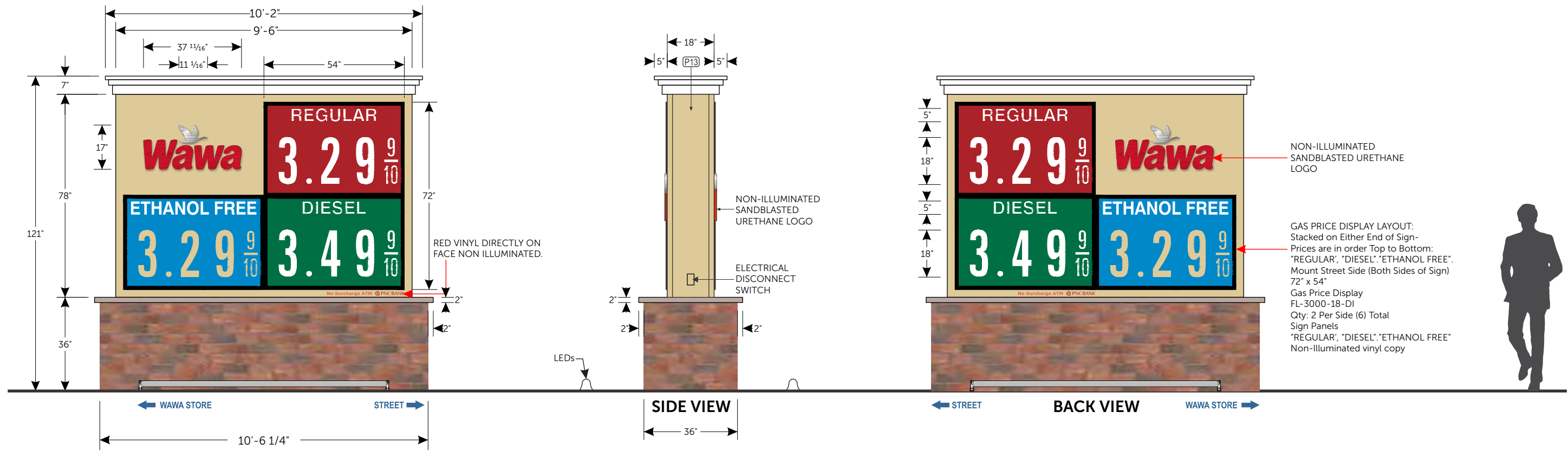


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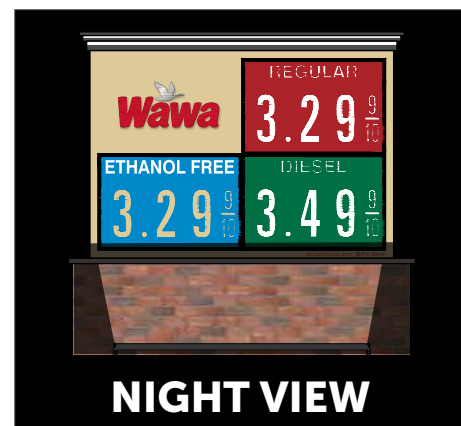




18"/3 PRODUCT
M-50 D/F EXTERNALLY ILLUMINATED MONUMENT SIGN (61.75 SQ.FT.)

STANDARD SPECS SEE COLOR SPECIFICATION LIBRARY

SCALE: 1" = 40"



COLOR REFERENCE

P11	V1	V5	V16	V15	P22	P13	P1	20	21
Painted to match PMS 187C	3M 7725-10 'White' Opaque	3M 3630-33 'Red' Translucent	3M 3630-156 'Vivid Green' Translucent	3M 7725-13 'Tomato Red' Opaque	Paint to match Matthews Paint 'Brushed Aluminum'	'Sandlewood in Sandblast' DRYVIT SC13_082SB	Painted White Smooth Satin	Limestone Cap By Others	Stone/Masonry Fascia Base By Others



Wawa
 Village of Silverton,
 Hamilton, OH

STORE #
C-06495

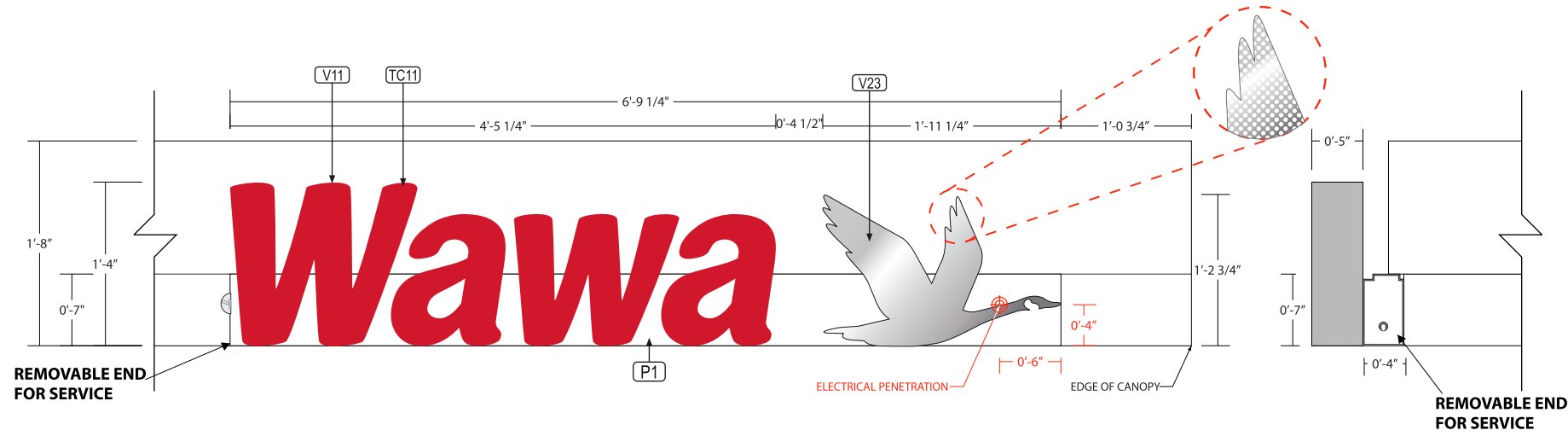
Issue Date: 5/1/2024
 Drawn By: Mike C.

Rev: 2
 Date: 6/11/2024
 Doc #: AD-WAW-111378-Hamilton-REV2
 Blair Project #: 111378
 Blair Sales Order #: TBD

Blair Image Elements
 5107 Kissell Avenue
 Altoona, PA 16601
 P: (814) 949.8287
 blairimage.com



QTY: 1



X 5" DEEP FRONT NON-ILLUMINATED LETTERS & LOGO (ON 4" X 7" EXTRUDED RACEWAY) - RIGHT SIDE 9.02 SQ.FT.

SCALE: 3/4"=1'-0"

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY
END OF RACEWAY TO BE REMOVABLE TO ALLOW FOR SERVICING.

- P11

Paint to Match
PMS 186 C
- TC11

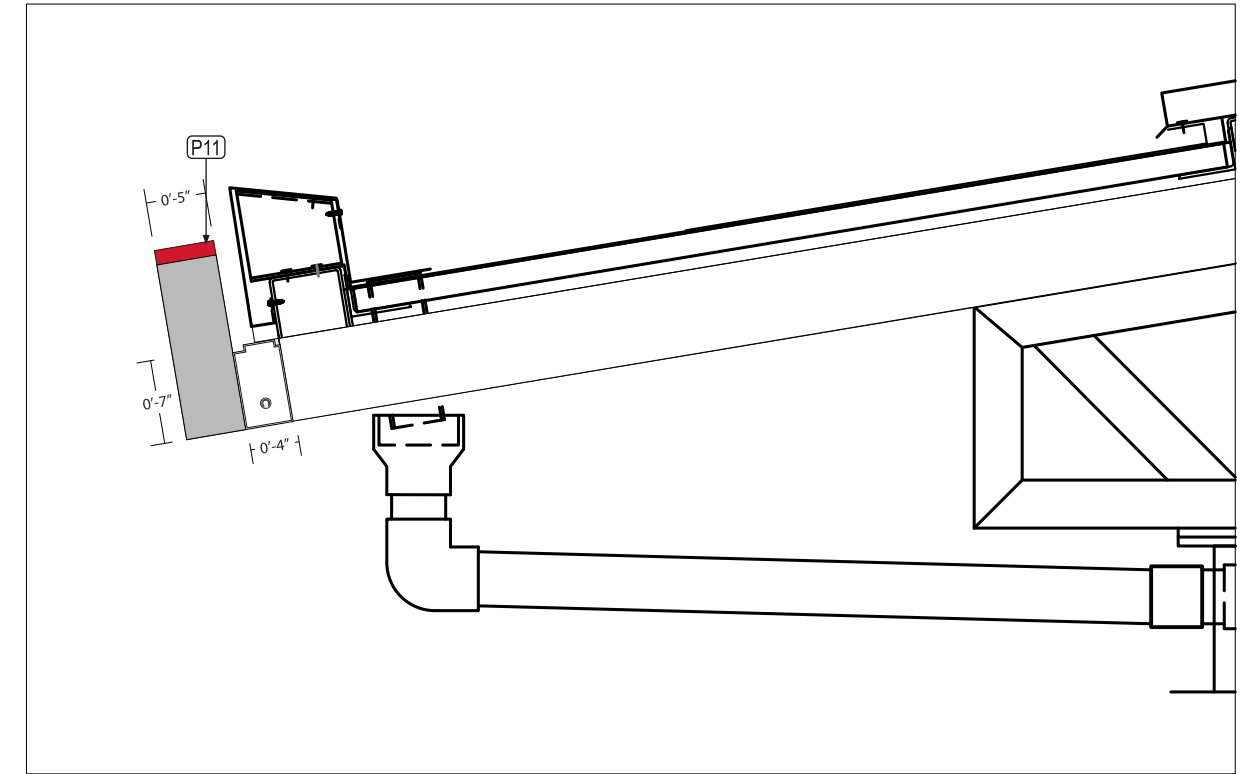
Jewelite 'Red'
Trim Cap
- PL11

#2793 Red
Acrylic
- V23

3M 3635-210
Printed to match
'Wawa Grey'
- P1

PAINTED
WHITE
SMOOTH SATIN
- PL2

#2447 Milky White
Acrylic

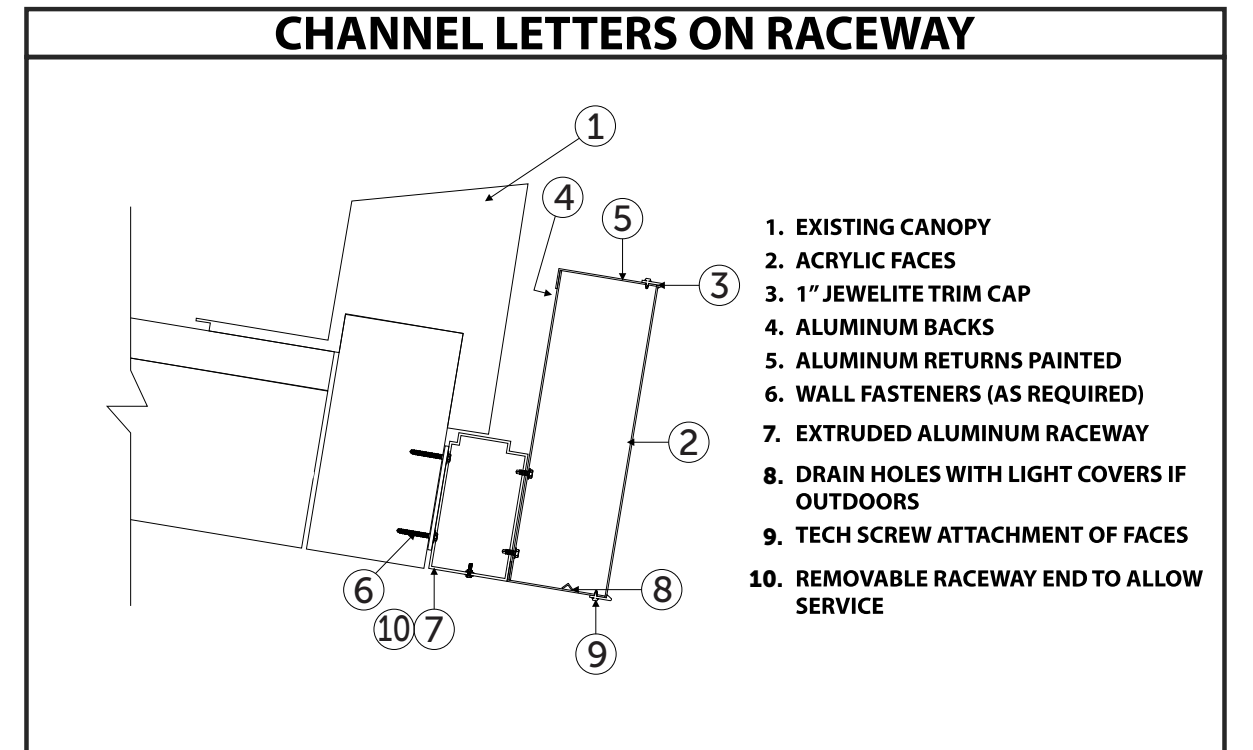


SELF-CONTAINED FLUSH MOUNT CANOPY SIGN (SIDE VIEW)

SCALE: 3/4"=1'-0"



NOTE: THE CONSTRUCTION IS THE SAME BUT THE LETTERS WILL NOT BE ILLUMINATED. EXTERNAL ILLUMINATION TO BE DETERMINED AND PROVIDED BY THE GC.



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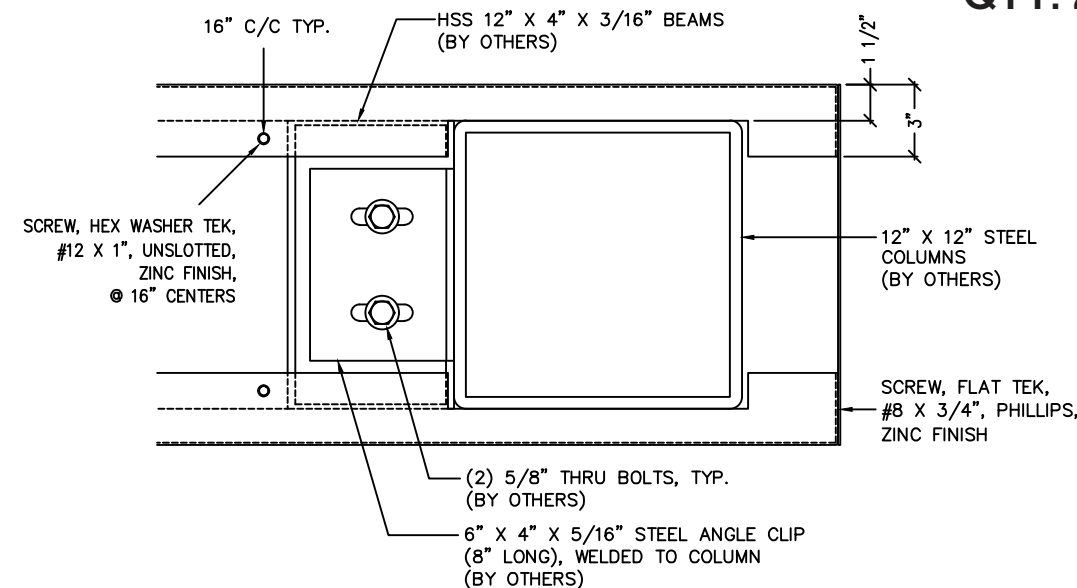
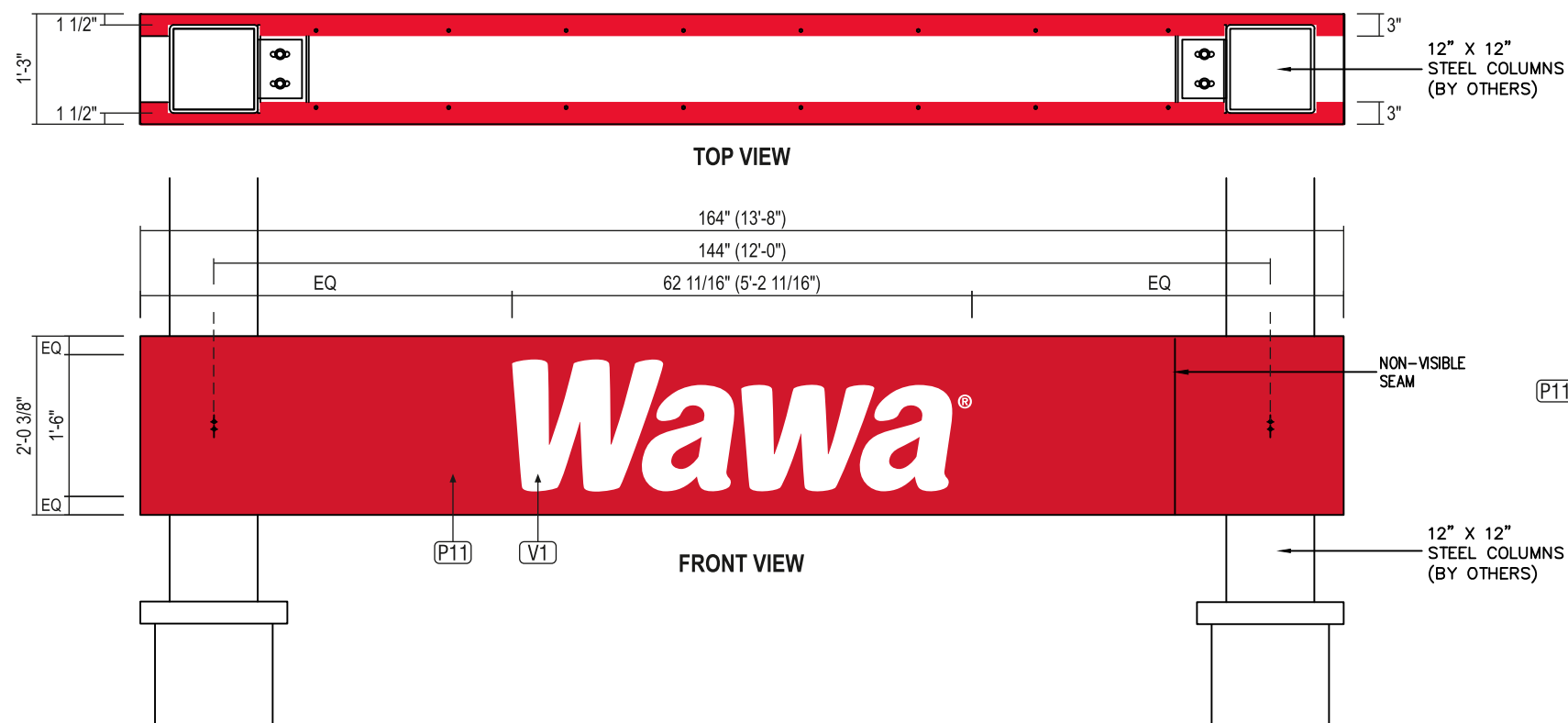


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QTY: 2



DETAIL @ TOP VIEW

SCALE: 1 1/2"=1'-0"

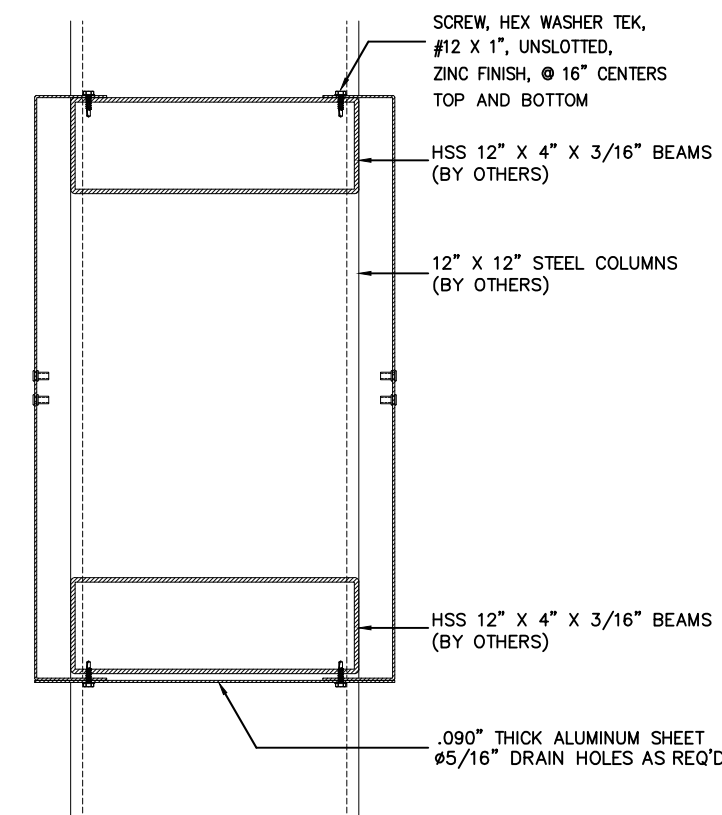
2'-0 3/8" X 13'-8" NON-ILLUMINATED GAS PUMP SPANNER (STRAIGHT PUMPS)

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

SCALE: 1/2"=1'-0"

SIDE VIEW

COLOR REFERENCE	
P11	V1
Paint to match PMS 186 C	3M 7725-10 'White' Opaque
AREA/WEIGHT	
SIGN SQUARE FOOTAGE: 27.8 sq. ft.	
ESTIMATED SIGN WEIGHT: 120 Lb.	
TOLERANCE: ± 1/16" ON ALL DIMENSIONS	



SECTION @ SPANNER SIGN

SCALE: 1 1/2"=1'-0"



CANOPY ELEVATION (STRAIGHT PUMPS)

SCALE: 1/8"=1'-0"

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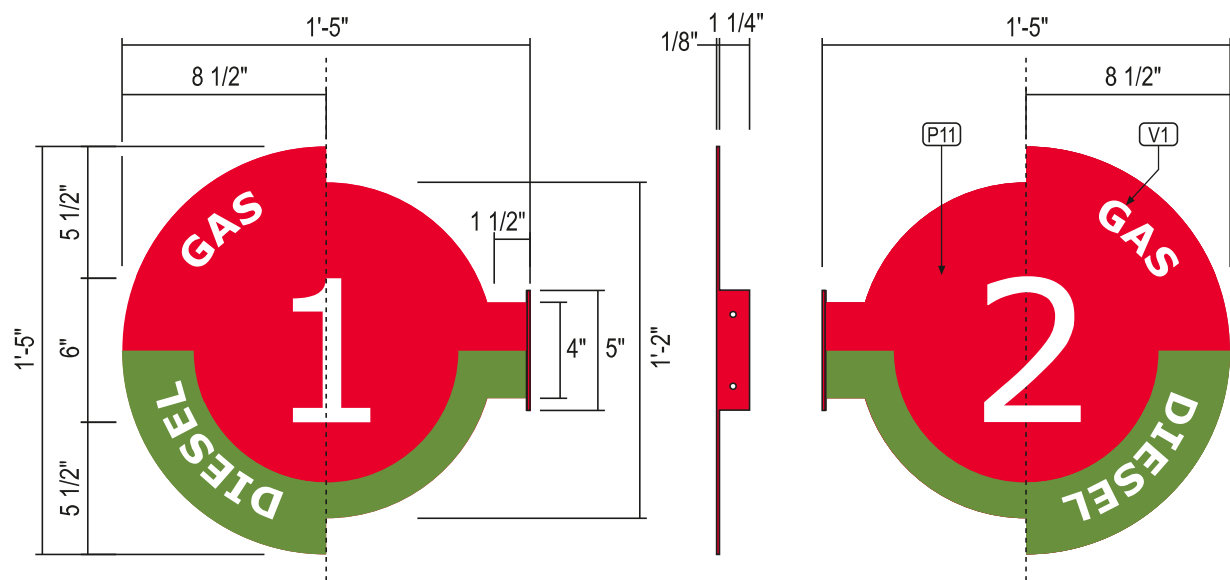
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DETAIL @ D/F PUMP INDICATOR SIGN - GAS & DIESEL

SCALE: 1 1/2"=1'-0"

ALUMINUM FACES PAINTED RED & GREEN.
WHITE VINYL COPY & NUMBERS.
FONT STYLE: VERDANA

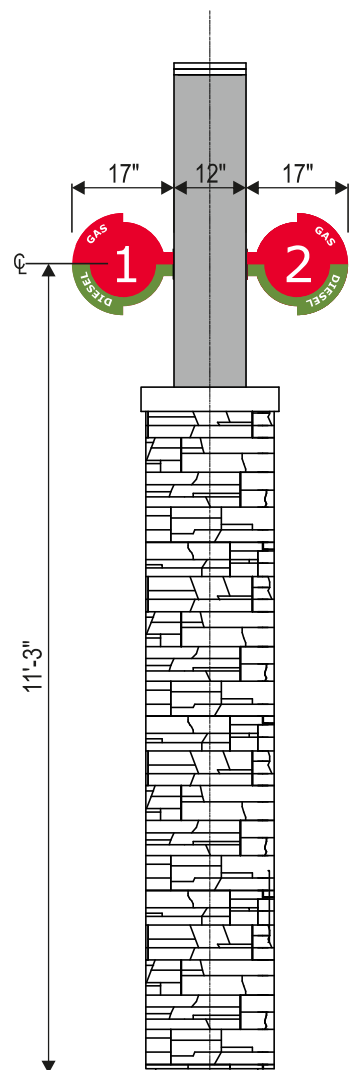
Paint to match PMS 186 C Paint to match PMS 377C GREEN



DETAIL @ WHITE VINYL PUMP NUMBERS - GAS & DIESEL

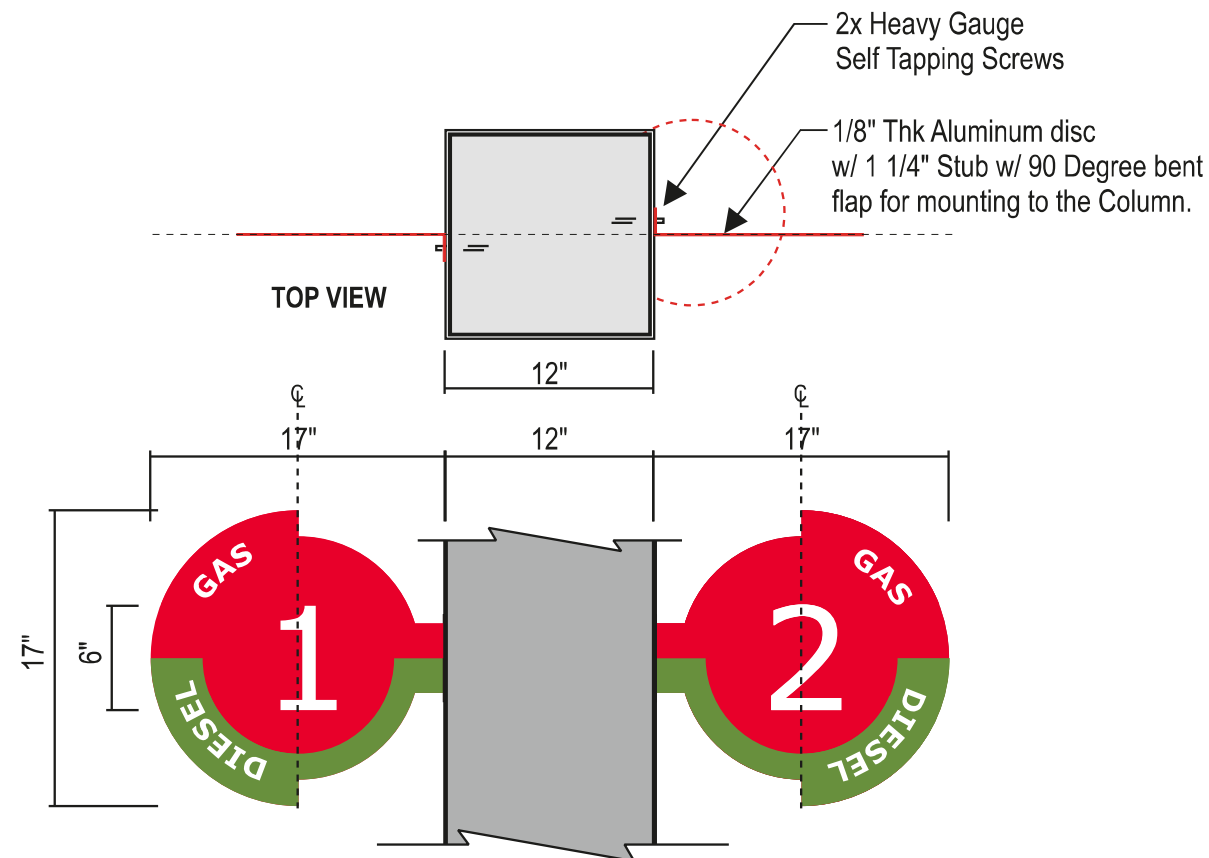
QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
WHITE VINYL NUMBERS.
FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN

SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN

*** NOTE: CONFIRM PUMP NUMBER SEQUENCE PRIOR TO MANUFACTURING**

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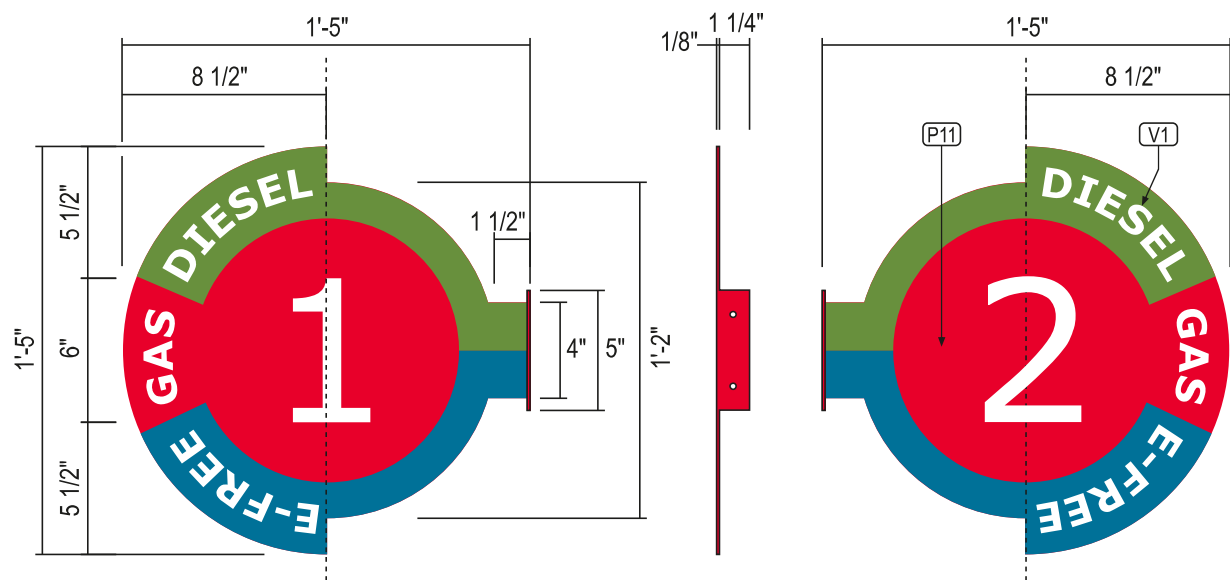
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DETAIL @ D/F PUMP INDICATOR SIGN - E-FREE, GAS & DIESEL

ALUMINUM FACES PAINTED RED, BLUE AND GREEN.
WHITE VINYL COPY & NUMBERS.
FONT STYLE: VERDANA

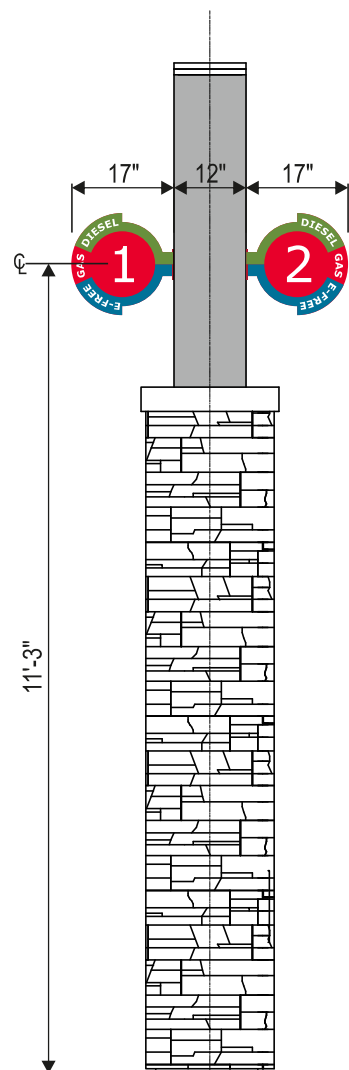
SCALE: 1 1/2"=1'-0"
■ Paint to match PMS 186 C
■ Paint to match PMS 377C GREEN
■ PMS 7468C BLUE



DETAIL @ WHITE VINYL PUMP NUMBERS - E-FREE, GAS & DIESEL

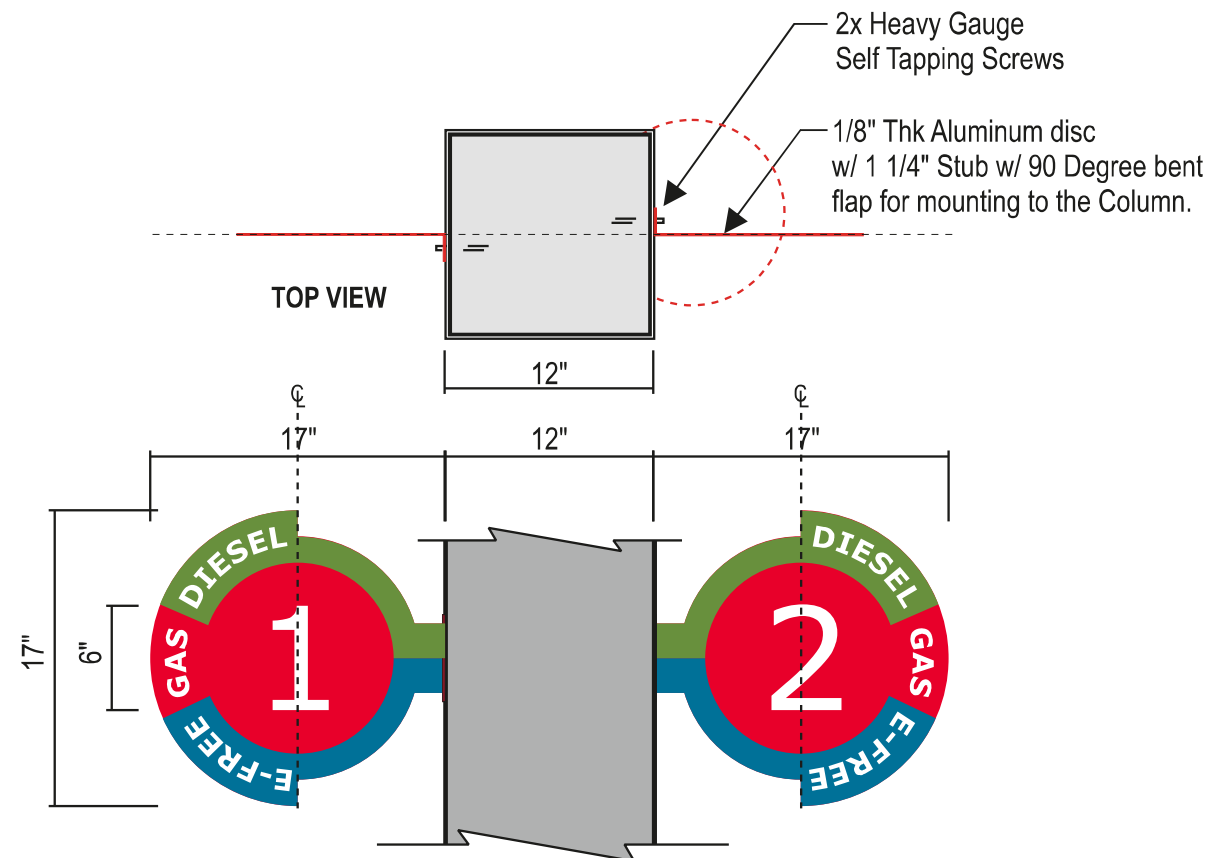
QTY: NUMBERS 1 - 16 x 2 (for D/F SIGNS)
WHITE VINYL NUMBERS.
FONT STYLE: VERDANA

SCALE: 3/4"=1'-0"



SIDE ELEVATION DETAIL @ CANOPY COLUMN

SCALE: 3/8"=1'-0"



ATTACHMENT DETAIL @ D/F PUMP INDICATOR SIGN

*** NOTE: CONFIRM PUMP NUMBER SEQUENCE PRIOR TO MANUFACTURING**

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Issue Date: 5/1/2024
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JOBSITE CODE OF CONDUCT and BASIC EXPECTATIONS

SUBCONTRACTOR recognizes and agrees, that while it is an Independent Contractor from BLAIR and OWNER, SUBCONTRACTOR is an extension of, and representing, the OWNER as perceived by the general public. SUBCONTRACTOR, and any and all Approved Subcontractors, shall abide by the following Code of Conduct while performing WORK for BLAIR to meet the collective professionalism required by SUBCONTRACTOR, BLAIR and OWNER.

- No profanity.
- No offensive clothing.
- No smoking unless in designated area away from the work area.
- No loud music.
- No Horseplay.
- Be respectful and courteous of the location and work site, customers, patrons and the general public.
- Notify location/site manager upon arrival to and departure from site/location.
- Review work and safety plan with location/site Manager.
- Mark off work areas with cones and caution tape.
- Use proper PPE (Personal Protective Equipment).
- Maintain a clean, organized and orderly work site.
- Dispose of trash properly; recycle as able.
- Do not bring pets or animals to work site.

Active site locations are not to be left unbranded at completion of daily work schedules. Temporary Banner(s) are to be installed at designated location(s).

INSTALLATION INSTRUCTIONS

Contact your Blair Image Elements' Project Manager for full product installation instructions.

Installation instructions will also be provided on the product crate upon delivery. They will typically be in a plastic sleeve attached directly to the product crate.

All necessary hardware to be provided by installer.

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COMMUNICATION and WORK IN PROCESS and COMPLETION PHOTOGRAPHS

SUBCONTRACTOR and any and all Approved Subcontractors, will at a minimum, provide routine communication to BLAIR Project Manager with respect to WORK at the site/location, including but not limited to:

- confirmation text within 15 minutes of arrival at site/location
- mid-day text providing WORK status
- text within 15 minutes of leaving site providing completed WORK status and related photographs of completed WORK and work in process
- completion photographs of lit branding elements requires either night time photographs or photographs showing illuminated LEDs or bulbs.

This communication is required by OWNER who routinely expects daily updates to WORK progress at any given site/location.

SUBCONTRACTOR and any and all Approved Subcontractors, will not begin WORK at site/location, or leave WORK site/location without first communicating with BLAIR Project Manager.

In the event there are questions, concerns, or additional direction is needed, SUBCONTRACTOR and any and all Approved Subcontractors, while on site/location will contact BLAIR Project Manager over the site/location for assistance.

Upon completion of WORK, SUBCONTRACTOR and any and all Approved Subcontractors, will obtain written acceptance of completed WORK from site/location Manager and provide a copy of such to BLAIR.

SAFETY CRITERIA

All installers working for Blair must complete the Blair Safety Certification Program.

All Blair subcontractors working on a petroleum site must have a valid API Certification, follow the established guidelines set forth by API as well as follow any local, state, or federal laws.

- Perform a Pre-Task Job Safety Analysis.
- Understand how and where to obtain First-Aid and medical treatment, including CPR.
- Use the proper level of PPE per the assigned task.
- Only use tools that are in safe working order before using them.
- Always use tools for their intended purpose and never over their safe working limit.
- Employees operating vehicles must conform to all DOT requirements as well as API regulations.
- Use proper fall arrest equipment.
- Understand the requirements for working at height on a job site.
- Properly barricade the work area from the public in accordance with Section 8 of the API guidelines.
- Only competent and trained people using approved equipment in a manner in accordance with Section 10 of the API guidelines should perform lifting duties.

Examples of Equipment Include: Personal Protective Equipment, Barricade, Crane, Hoist, Bucket Truck, Scissor Lift, Ladder, Vinyl Applicators (Squeegee or Application Liquid), Welder/Torch, and Hand Tools/Power Tools

SERVICE CONTACT

Service Contact: (814) 283-2177

Service Hours: 8:00 am to 4:30 pm EST, Monday - Friday

website: www.blairimage.com/support

email: service@blairimage.com

After hours / holiday emergencies, call (800) 563-9598



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blair
IMAGE ELEMENTS™

April 4, 2024

Casey Abney
Jeffrey R. Anderson Real Estate, INC.
3825 Edwards Road
Suite 200
Cincinnati, OH 45209

**Subject: Request for Availability of Sewer Service APPROVAL
Convenience Store – (40) Employees & (6) Gas Islands
Auditor’s Parcel Numbers 0602-0008-0196 to -0198, -0204, & -0207
7433 Montgomery Road
Silverton
APD Number HMD2400120**

Dear Mr. Abney,

Your sewer availability request for the above-referenced property has been processed and approved. Sanitary sewer service is available via connection to the existing public sewer in Montgomery Road, subject to the following requirements and conditions:

1. All plans and construction shall comply with the latest edition of the MSD Rules and Regulations which govern the design, construction, maintenance, operation, and use of sanitary and combined sewers. This document can be downloaded from the MSD website at <https://msdgc.org/doing-business-with-us/msd-rules-and-regulations/>.
2. Special considerations should be made to protect MSD’s infrastructure during construction. Any damage to the sanitary sewer is to be remediated at the contractor’s expense. Once the connection point to the sewer has been uncovered, MSD’s on-site inspector will need to verify any necessary repairs to the sanitary sewer that must be completed before the work can occur.
3. In instances where the overflow rim of the lowest plumbing fixture in any proposed structure is below the rim elevation of the next upstream manhole in the sewer system to which the proposed structure is connected, a backwater valve shall be installed per Section 614 of the MSD Rules and Regulations.
4. This development shall be subject to the requirements of Article XV of the MSD Rules and Regulations, which requires filing the appropriate Waste Discharge Permit Application as a condition of obtaining sewer service. These forms can be downloaded from the MSD website at <https://msdgc.org/customers/industrial-and-commercial-customers/>. Additional information can be obtained by contacting the MSD Division of Industrial Waste at 513.557.7000.
5. This development shall be subject to the requirements of Article XV of the MSD Rules and Regulations, which requires filing the appropriate Sewer Use Customer Application for Food Service as a condition of obtaining sewer service. These forms can be downloaded from the MSD website at <https://msdgc.org/customers/food-service-customers/>.
6. The proposed development is serviced by sewers known to surcharge above the basement floor elevations of other properties in the immediate vicinity during periods of wet weather. Per Section 1204 of the MSD Rules and Regulations, the property owner shall be responsible for taking the necessary precautions to provide adequate protection from flooding for any new building sewer connections to the public sewer system.
7. A tap permit must be obtained per Section 1201 of the MSD Rules and Regulations. After the tap

permit is issued, the sewer contractor must contact MSD WWE Inspections at 513.244.5537 or MSDWWEInspections@cincinnati-oh.gov for sewer inspection.

8. All sewer tappers making building sewer connections to the MSD sewer system shall be licensed and bonded by MSD per Section 1212 of the MSD Rules and Regulations.
9. The person to whom a tap permit or special permit is issued shall be responsible for obtaining any additional permits required to open-cut any public street, road, or highway from the appropriate public authority having jurisdiction per Section 1210 of the MSD Rules and Regulations.
10. Roof drains, foundation drains, cooling water, swimming pool water, or other clean water connections to the sanitary sewer system are prohibited per Section 401 of the MSD Rules and Regulations. A notarized affidavit stating that the sanitary wastewater is free of such clear waters must be submitted to MSD before a tap permit will be issued. Hamilton County Department of Public Works should be consulted regarding the stormwater collection, detention, and conveyance requirements.

The conditional availability of sewer service as described in this letter is effective until one year from the date of this letter and may be extended for one additional year per Article V, Section 510 of the MSD Rules and Regulations. Time extension requests may be made within thirty (30) days of the expiration date of this application through the MSD website at the following link: [REQUEST for AVAILABILITY of SEWER SERVICE Form Webpage](#). Subsequent extension requests may or may not be granted depending on the availability of sewer credits, the hydraulic capacity of the sewer system, and/or other factors that may affect MSD's ability to accept additional sanitary flows into our sewer system.

This determination of sewer availability is based on the best information available at this time to the Metropolitan Sewer District of Greater Cincinnati. It is subject to modification or revocation resulting from regulatory action taken by the United States Environmental Protection Agency, the State of Ohio Environmental Protection Agency, federal consent decrees, or other judicial action ordered by federal courts of the United States Government or the courts of the State of Ohio.

If you have any questions, please call William Weinheimer at 513.882.8464 or me at 513.882.8468.

Sincerely,



Robert Franklin

MSD-ODOT Liaison | MSD Availability | MSD Utility Review
Metropolitan Sewer District of Greater Cincinnati (MSD)
Cell: 513.882.8468 | Email: Rob.Franklin@cincinnati-oh.gov

RF: ww

c: Availability File, Silverton

MEMORANDUM

DATE: JULY 5, 2024
SUBJECT: WAWA TRAFFIC STUDY REVIEW
PREPARED BY: Andrea Harth, PE, PTOE, RSP
TEC Engineering, Inc.

PREPARED FOR: The Kleingers Group

TEC has reviewed the Traffic Impact Study dated 4/5/24. The traffic study should be updated based on the following comments.

Existing/Background Volumes/Trip Generation/Trip Distribution:
Previously Approved

Analysis:
Approved

Recommendations & Findings:

Due to queuing from the signal along with the number of left turning entering vehicles, TEC recommends the Montgomery Road Access be limited to right-in, left-in, right-out only. This would restrict the left turns out of the site, and those cars would need to use the signal to turn left from the site onto eastbound Montgomery Road. The queue analysis shows that eastbound traffic queues past the access during the AM and PM Peaks making the left out an unsafe movement, especially given the proximity to the signal.

In addition, TEC recommends a right turn lane be installed at the access point. The turn lane warrant is for a 4-lane road, which fits Montgomery Road. However, given the shared thru-left lane at the Steward Road signal, the lane distribution is not even. More westbound thru cars use the right lane than a traditional 2 lane approach. Again, given the close proximity to the intersection and the proportion of westbound cars in the right lane, a short deceleration lane is recommended for the right turns into the Montgomery Road access.